



DESIGN REVIEW BOARD
REGULARLY SCHEDULED MEETING
MONDAY, AUGUST 15, 2016
2:00 – 5:00 PM
COUNCIL CONFERENCE ROOM
280 MADISON AVE N
BAINBRIDGE ISLAND, WA 98110

AGENDA

- 2:00 PM Call to Order (Attendance, Agenda, Ethics)
- 2:05 PM Approval of Minutes
July 18, 2016
August 1, 2016
- 2:10 PM Eagle Scout Project by Kyle Hammer
Project Location: Trail between New Brooklyn and High
School Roads
Project Manager: Kellie Stickney
- 3:30 PM St. Barnabas Annex Replacement (PLN50466SPR/CUPA)
Project Location: 1187 Wyatt Way
Project Manager: Kelly Tayara
- 4:30 PM New/Old Business
- 4:35 PM Adjourn

All permit application documents may be viewed by entering the permit number on the City's Online Permit Center here:

<https://ci-bainbridgeisland-wa.smartgovcommunity.com/ApplicationPublic/ApplicationSearchAdvanced>.

(Please use the permit prefix when searching, i.e., PLN50165.)

**For special accommodations, please contact Jane Rasely, Planning & Community
Development 206-780-3758 or at jrasely@bainbridgewa.gov**

Call to Order (Attendance, Agenda, Ethics)
Review and Approval of Minutes
Manor House Canopy (Conceptual Review)
Pleasant Beach (Conceptual Review)
Madrona School (PLN18970BPRE)
BIFD Station 23 (PLN50597SPR)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Grainger called the meeting to order at 2:04 PM. Design Review Board members also in attendance were Jim McNett, Peter Perry, Jeffrey Boon, Joseph Dunstan and Jason Wilkinson. Chris Gutsche was absent and excused. City Staff present were Planning Manager Josh Machen and Administrative Specialist Jane Rasely, who monitored recording and prepared minutes.

Chair Grainger immediately introduced new members Joe Dunstan and Jason Wilkinson. The agenda was reviewed. There were not any conflicts.

Review and Approval of Minutes

The minutes were reviewed. Mr. Perry asked whether there had been any follow-up after the previous discussion of increasing the DRB's role by reviewing subdivisions. Mr. Grainger stated there would be continued discussion with others and there would be more information later.

Motion: I move we accept the minutes

Perry/Boon: Passed Unanimously – 4-0 with 2 Abstaining

Manor House Canopy (Conceptual)

Rich Lawson introduced this project for a more permanent attached canopy to the Manor House at Pleasant Beach. He described it as an open canopy, pole structure 45' wide and 48' long built in the same manner as the Manor House itself. Mr. Boon asked how tall the highest point of the canopy would be. Mr. Lawson stated it would be 24-25 feet. Discussion of blending the look of the canopy better with the actual Manor House occurred and it was stated that this was a rudimentary beginning and would be embellished before the design phase was completed. Mr. McNett asked to see a view from the street and building materials next time.

Pleasant Beach Resort (Conceptual)

Kelly McDonald, representative for the owner group, presented a modified scope for the Inn at Pleasant Beach. She presented the previously permitted site plan as well as the new site plan which eliminated 4 of the previously planned buildings to opt for a larger lodge with 10 units. Ms. McDonald also stated they were asking to have a minor site plan revision as opposed to

going through the full site plan revision process. Mr. Grainger asked why there was not any parking onsite for this project. He reviewed some of the conversation regarding ADA parking as well as other parking. Ms. McDonald asked the DRB for permission to go through a Minor Site Plan Review process. Mr. Grainger stated they would do everything they could to help them through the administrative process, but Mr. McNett said they needed to give them something to look at such as a site plan, topography, landscaping plan, floor plans, etc., in order to be able to make that call. Mr. Machen joined the meeting and explained the difference between a minor and major site plan review was a major site plan review would have to go to the Planning Commission again. Mr. Nord clarified that the DRB's goal seemed to be providing more detail, including ingress/egress to be able to make a determination of whether they could go with a minor site plan change or not.

Madrona School (PLN18970BPPE)

Missi Goss and John Kennedy presented the project highlighting the school site off North Madison Ave NE across from the Windsong Loop neighborhood. Mr. Kennedy presented a three phase building plan with a total of 26,000 square feet on a 15,640 square foot footprint. He spoke about retaining the forested buffer along Madison as well as retaining the existing orchard trees. Mr. Dunstan spoke about having a detention pond as opposed to a detention vault. He felt it was something to be positive about and could be a helpful teaching tool. Mr. Grainger asked about service vehicles. Mr. Kennedy stated they would be using the Fire Department access road. An overview of parking was given and it was noted the parking would be developed in Phase 1 for the total need after Phase 3. Mr. Wilkinson suggested they look at Hawaii Prep Academy as a living school model. Mr. Grainger thanked Mr. Kennedy for his in depth presentation. Conversation then turned to detention ponds and the different types that could be created.

BIFD Station 23 (PLN50597PRE)

Ben Tamarkin and Bob Miller-Rheed from Coates Design Architecture gave an overview of the proposed addition that will house two additional fire trucks from Station 21. It was noted that from the street, the addition would not be visible and the only change to the front would be the addition of 2 vents that would be the same size and shape as the windows on that side. Mr. Grainger called it a nice subtle addition. Mr. Machen stated the Pre-Application was waived and the DRB was asked to review the checklist and give approval on the site plan. All DRB members agreed that there was no need to review the checklist items individually but gave a blanket approval.

Motion: I move that we approve this design.

McNett/Dunstan: Passed Unanimously 6-0

New/Old Business

Ms. Rasely asked the DRB about using the Permit Portal to see the documents for review. Mr. Machen gave a demonstration of using the online portal and it was agreed the agenda would be provided for the next meeting along with a link to the online portal as a test run. Ms. Rasely also agreed to provide a step by step procedure for the DRB members to follow.

Mr. Perry asked about the DRB role again. Mr. Peltier gave an overview of the discussion with Planning Director Gary Christensen and stated this would be a lengthy process because of staff workload and the current Low Impact Development regulation changes coming into play.

Adjourn

The meeting was adjourned at 4:49 PM.

Approved by:

Alan Grainger, Chair

Jane Rasely, Administrative Specialist

Call to Order (Attendance, Agenda, Ethics)
Approval of Minutes - June 20, 2016
Wyatt Cottages (Permit No. PLN50165) Conceptual
Islandwood (Permit No. PLN10081PRE)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger opened the Design Review Board meeting at 2:05 PM. Other members present were Jim McNett, Peter Perry, Jeff Boon, Chris Gutsche and Jason Wilkinson. Joseph Dunstan was absent and excused. City Staff present were Senior Planner Heather Wright (sitting in for Planning Manager Joshua Machen) and Administrative Specialist Jane Rasely who monitored recording and prepared minutes.

The agenda was reviewed and there were not any conflicts disclosed.

Review and Approval of Minutes – June 20, 2016

There were not any changes necessary.

Motion: I move to approve the minutes.

Perry/Boon: Passed Unanimously 6-0

Wyatt Cottages (Permit No. PLN50165) Conceptual

Architect Bruce Anderson passed out plans (see attached) and gave a brief description of the new intent of the developer for the project previously named Wyatt Cottages. The design had gone through a change from the original idea of selling units to becoming a rental property. He spoke about the greater number of units and parking spaces and the need to hide the parking as much as possible from the street. He described the units as studios, stacked flats and 2 bedroom units. There would be 2-story townhomes on the park side of the parcel. Mr. Anderson mentioned they were not saving the historic home but hoped to find a new home for it allowing vehicular traffic to impose less upon the tot lot park located in the northeast corner of the parcel. He spoke of the vehicle entrance as a “treed alley.” There was conversation about the 2 parking spaces the Bainbridge Island Metropolitan Park and Recreation District (BIMPRD) wanted to retain on the tot lot. Guest parking would be maintained on Wyatt Way. Mr. McNett asked if they thought of putting units in the historic building. Mr. Anderson replied they had not due to the building’s condition however they would take that under consideration. Fire department requirements were discussed with Mr. Grainger offering up a solution to the fire truck turn around space needed. Mr. Gutsche felt the developer had completely reversed their design and gone from some nice meandering paths, an historic home saved, etc., to a 200 foot long apartment house. Mr.

Grainger called the type of development “garden apartments.” Mr. Wilkinson thought if they moved the entrance to the parking toward the middle of the building, there would be more space to break up the façade. Mr. Grainger suggested there could be gates in the terrace/garden fences to create the front door entrance.

Islandwood (Permit No. PLN10081PRE)

Dana Warren (Project Manager) and Rich Franko, Mithun architect, introduced themselves. Mr. Grainger disclosed that he and Mr. Warren had worked together in the late 1970’s. Mr. Warren gave a brief overview of the project’s origins saying he was part of the original design team. He then turned the presentation over to Mr. Franko who asked if there was any specific information the DRB was looking for. Mr. Grainger asked if he would elaborate on the two structures that would be added at the corner. Mr. Franko stated they were looking at an addition to the dining hall and a new structure in the garden area. He described the addition as an extension of the dining hall that creates one large space for up to 200 diners see a presentation screen. Mr. Warren stated he felt when the project was completed, it would be impossible to see where the addition actually occurred. The garden structure was described as having a cement base with a trellis roof providing an outdoor cooking area. Mr. Grainger thanked them for submitting an excellent review package and stated it was the excellent standard they were aiming for with every applicant. He complimented their design saying he agreed the changes would not be recognizable from the original structures. Mr. Boon asked if there would be any alterations to the amount of noise from the kitchen. Mr. Franko stated there would be a mode of fully shutting off the kitchen from the main dining room to aid in the after meal acoustic problems.

Mr. Grainger suggested there was no need to read each checklist item but just to respond.

1. Yes
2. Yes
3. Yes
4. Yes
5. Yes
6. Yes
7. Yes
8. Yes
9. Yes
10. Yes
11. Yes
12. N/A
13. Yes
14. Yes
15. Yes
16. Yes

Mr. McNett asked why the DRB had to see the project. Ms. Wright stated that since it was an addition, they needed to have the DRB's comments. Discussion of whether they needed to see the project again was had.

Motion: I move that the DRB approves the plan as shown today. We do not need to see it again unless Planning identifies significant changes.

Gutsche/McNett: Passed Unanimously 6-0

Ms. Wright was asked to pass along to the other City Planners that this presentation of materials was exactly what they were looking for. She agreed to do that. Discussion then moved to the upcoming Wilkes Elementary School project with Mr. Franko stating he would be back to present that project as well.

New/Old Business

Discussion of the new agenda format with looking at the Online Permit Center occurred. The question of which documents they needed to look at was brought up. Ms. Rasely stated she would check to see if the documents entitled Plan Set were always going to include the DRB documents and design guideline checklists.

Mr. Grainger suggested that at the top of the Design Guidelines in the column that says Yes or No, there should also be a Not Applicable (N/A) option. He also felt the applicant should take responsibility for letting the DRB know if they are NOT meeting the guidelines and what their mitigation would be.

Mr. Perry asked for a progress check on the committee to look at the DRB scope of work and creating a design guideline "picture book" of "good" and "bad" projects. Mr. Grainger stated he felt focusing on projects that were good was important so that no offense was given to any projects and that he suspected the scope of the Design Review Board had to be set before development of the picture book idea could occur. Mr. Gutsche stated he was unable to attend the next DRB meeting on August 15, 2016.

Adjourn

The meeting was adjourned at 4:01 PM.

Approved by:

Alan Grainger, Chair

Jane Rasely, Administrative Specialist

July 8, 2016

Mrs. Kellie Stickney
Design Review Board
City of Bainbridge Island
280 Madison Avenue
Bainbridge Island, WA 98110

RE: Design Review Board review of proposed Eagle Scout project.

Dear Mrs. Stickney,

The City has completed segments of the sportsman's club spine inter-island trail along the sportsman's club road corridor. The 6 foot wide gravel trail now extends from the Woodward Middle School to Finch Road. Currently the trail does not have complete trail markers and way finding signage.

For my Eagle Scout project I am proposing to complete the trail head marking signage and provide two locations with way finding signage. 5 trail head marking signs will be provided for the trail between New Brooklyn and High School Road. The trail head signs are a brown sign with symbols of people walking/hiking. Public works has indicated that they can provide the metal signs, so that they match other City trail head signs.

The two wayfinding sign stations will be provided at High School and New Brooklyn Road. I propose that the signs are made according to the following:

- Round non treated (likely cedar) poles embedded in the ground and 8 feet or so in height.
- Wood signs pointing in the direction w/ distance marked of destinations.
- The signs will be oriented for walkers and bikers, and are not intended to be visible to drivers.
- It is envisioned that the wood signs will be constructed with a variety of reused wood such as drift wood, barn wood, or other.
- The signs may be routed and burned and/ or painted.
- The signs will be a variety of styles and designs to provide an wide range of looks.
- It is envisioned that others may add new signs in the future, if and when approved by the City, as the trail system develops.
- The Eagle Scout project must demonstrate a moderate level of difficulty in craftsmanship to qualify for the scouting program. So the custom signs are needed for the project.

Input on design such as ideas for variation of sign wood types, shape, and color would be helpful. If anyone has ideas for custom signs please forward to Mrs. Stickney and she can then forward to me.

I hope to complete the project in the early fall once school is back in session.

Sincerely Yours,



Kyle Hammer
Life Scout
Troop 1565

City of Bainbridge Island

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Ms. Kelly Tayara, Planner
City of Bainbridge Island
208 Madison Ave. N
Bainbridge Island, WA 98110

JUL 20 2016

Planning and
Community Development

July 19, 2016

Dear Design Review Board Members,

This project proposal primarily consists of construction to remove the existing antiquated administrative annex and provide a new administrative annex that combines improved accessibility and increased areas for the staff and parishioners of St. Barnabas Episcopal Church located on Wyatt Way.

The existing 2,100+/- square feet of aging administrative areas will be replaced with approximately 3,400 square feet of administrative areas including a new choir room. The new annex will be constructed completely over the existing annex footprint and will continue to serve as a circulation link between the existing Chapel building and Parish Hall per current conditions.

The construction would begin in the spring of 2017 and would carry through the summer and fall for an approximately nine month duration.

A key design intent is to keep the existing Chapel building as the primary focal point of the site and to present a low visual impact of new areas to retain that focus. In addition, the new portions will use materials that complement the existing building materials and keep a single story scale and feel as a nod to the surrounding residential zone.

Existing parking conditions are accommodating and adequate while exceeding current quantity requirements for the use. There are no proposed changes to the existing parking areas.

Most of the existing site will remain intact and preserved in its current state in terms of landscaping. The large wooded area in the southwest corner will retain all of its mature native growth. Gardens and natural areas located throughout the site will be protected and preserved while significant improvements to landscaping will be made all along the property line at Wyatt Way to provide a full landscaping buffer per all applicable zoning requirements.

The proposed new construction is intended as a replacement and will have no significant impact to existing infrastructure such as utilities, sewer, power, and water etc.

Please consider the information above and thank you for taking the time to review our preliminary proposal.

Sincerely,

Devin Johnson
Principal Architect

KEY POINTS ON SAINT BARNABAS EPISCOPAL CHURCH

RECEIVED BY COBI - PCD DATE: 8/10/2016

Episcopalians have worshipped on Bainbridge Island for many years, first in private homes and then individuals worshipped at Eagle Harbor Congregational Church during WW II.

The end of war brought the desire to have a "real church." James Hodges along with The Rev. Herbert Gowen led the charge. Herbert Gowen, former rector of Trinity Episcopal Church, Seattle, founding faculty member of the School of Oriental Studies at the University of Washington and a high school teacher of Sun Yat Sen, proposed the name of Saint Barnabas – who was an early convert to Christianity, worked with Saint Paul, and was an island boy himself (Cyprus).

Three places were looked at – High School Road and Ferncliff, High School Rd and Madison, and Head of Bay (Wyatt and Finch). Sam Clarke triumphed because he offered the land at Head of Bay – the earliest address for the church - for \$1 dollar. James Hodges started the building campaign with a \$5,000 contribution – in 1945 dollars (that is about \$65,000 today). His commitment was never to have a mortgage or any outside debt. So far, so good. The church site had been clear-cut and one had unobstructed views of the end of Eagle Harbor in those days.

John Graham, Sr. of Seattle served as architect, at no charge, with Manson Bennett of his office doing the design work. John Graham, Jr and Bennett were the architects of the Space Needle and the firm designed many of Seattle's notable buildings in the first half of the 20th Century. Graham Sr. had been involved in the remodeling of Trinity Episcopal Church in Seattle and knew James Hodges and Herbert Gowen both professionally and personally.

The church design, inspired by the studies of James Hodges, is in the style of an English country church – a Gothic-inspired style known liturgically as a chancel church. The use of brick instead of stone and the use of cedar shake shingles instead of thatch or slate represents the PNW. The use of pointed arches, a square bell tower, and the entrance on the side of the church are all characteristics of English country churches. The red door is a sign of no mortgage on the property.

The church building is a theological statement about our relationship to God. The narthex is low and narrow, opening out to the nave – where the people sit. One steps up to the chancel area – an homage to the monastic communities that once graced many churches, and preaching is done from the edge of that step. It is marked by a great brick arch. The second step up corresponds to the shift to apse – the location of the altar, the "holy of holies" and is framed by the first great brick arch. The church is properly oriented – facing east – which is also a theological statement.

The windows at the west and east end are matching lancet style windows. The east end are stained glass – commissioned by the Connick Studios of Boston – at a cost of over \$5,000 (in 1946) dollars. Each tells a theological story in visual symbols – read from bottom to top. They are joined by two more stained glass windows on the south side of the chancel – Saint Barnabas and Saint Mark. The remainder of the windows are done in watered glass style with medieval stained glass framing.

The pews are original to the church and were hand-made on the island using white oak. The current flooring of limestone is relatively new – from the 1990's.

The original 1948 Moeller organ was replaced in 2005-2006 with a custom-designed Bond Organ. This change necessitated the movement of the altar from the east wall of the church to its present location at the front of the chancel area. This movement also conforms to liturgical changes made in the late 1970's.

The bell tower held an electric carillon for many years. In the early 2000's, funds were raised for three church bells, each in memory of a parishioner – Father Vincent Gowen, first vicar of Saint Barnabas and son of Herbert Gowen, Dorothy McEwan Black, and John Allen. They are housed in steel cradles and rung by ropes descending to the narthex. Cast by the Verdin Company of Cincinnati, OH, each bell rings a distinctive note – C, E, and G. In 2014, handmade English flax bell ropes were added, complete with proper English sallies.

The landscaping around the east end of the church was done by Roberta Wightman, a noted Seattle landscape architect. It combines English sensibilities but uses local plant material. An Interium was added to the church in the 1970's and a further expansion was done in 2003-2004 under the design of Tim Goss of Bainbridge Island. It is located on the south side of the church. Tim Goss was also the landscape designer of the enhanced entrance plaza, completed in 2011.

The original weathervane, damaged by rust and weather was taken down and replaced by a custom-designed weathervane in 2013 that uses the Celtic cross as its finial. It once again shows the wind direction and is clad in gold leaf with copper support. It is in memory of Bruce Hedderly-Smith.

The original parish hall and offices were WW II surplus buildings – one of which was the USO at Eagle Harbor, purchased for \$1 and trucked to the site as temporary buildings. These two buildings served as the parish hall and church offices from 1946. In 1959, construction of the current parish hall was begun and the second floor was completed almost ten years later – largely by volunteer labor from the congregation. The WW II surplus buildings now serve as the administration building and sacristy for the parish.

The plan before the city proposes to add an elevator to connect the various levels of the parish buildings and to replace the temporary, World War II surplus buildings with an administrative building that is energy-efficient and meets contemporary building standards.

Design Review Board Design Guideline Checklist
Mixed Use Town Center and High School Road Districts / General Design Guidelines– BIMC 18.18.030

X **“Pre-App” Meeting Checklist**

“Post-App” Meeting Checklist

Project Name/Case #: St. Barnabas Episcopal Church – PLN 50466

Land Use Application (Pre-app, Site Plan Review etc.): Pre-Application for Site Plan and Design Review

Project Description: Demolish existing offices and stairway and replace with new offices, stairs, and elevator

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
1. Parking Lot Location	To have parking lots be as visually unobtrusive as possible.	Parking lots should not front upon intersections. Parking lots should be located behind or to the side of buildings.	No Changes are proposed to the locations of the parking areas.	
2. Outdoor Open Spaces and Amenities	To establish, over time, a variety of open spaces within the town center	New development and redevelopment should provide facilities near or visible from the sidewalk for outdoor public use. Examples of such facilities include seating areas, courtyards, and small plaza spaces. Generally, the larger the development, the greater the number and size of such spaces. Furthermore, it is desirable to locate these spaces where they can receive sun and where they can easily be connected to adjacent concentrations of land use.	There are two outdoor plazas for gathering as well as a memorial garden and meditation trail for personal reflection.	
3. Pedestrian Connections	To create a network of safe, comfortable and attractive linkages for people on foot	New development and redevelopment should include pedestrian walkways, raised and/or separated from traffic lanes, that offer access from the public sidewalk to the main entrance to the building. (Locating a building entrance directly on the sidewalk satisfies this guideline.) In addition, connections to adjoining properties should be provided. Furthermore, within parking lots, there should be pedestrian walkways that allow people to traverse the lot without being forced to use vehicular aisles.	There are no public sidewalks in the area. There are several existing interior connections, pathways, sidewalls, and trails. No changes are proposed to these or the parking areas.	
4. Shielded Lighting	To ensure that the source of lighting for parking, service and loading areas is not visible from neighboring development.	Freestanding light fixtures should not exceed 14’ in height. All exterior lighting fixtures should incorporate cutoff shields to prevent spillover.	All proposed new lighting will be attached to the proposed building and will be directed downward and shielded with cut off devices.	

Design Review Board Design Guideline Checklist
Mixed Use Town Center and High School Road Districts / General Design Guidelines– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
5. Screen Service Areas	To conceal loading, trash, and storage areas from view.	Trash containers should be enclosed on all sides with solid walls and gates. Loading docks, outdoor storage and staging areas should be screened with fencing and vegetation, such as evergreen hedges. Chain link fencing is not acceptable.	The existing screened trash containers will not be altered.	
6. Common Open Space	To ensure that open spaces within a development containing dwelling units are truly usable by all residents.	While some portions of common open space may be dedicated to specific amenities such as pools and tennis courts, most of it should be designed in such a manner as to allow walking throughout the development, to any adjacent commercial or recreational areas, and to surrounding streets. Except for designated senior housing, some place for children to play should also be provided.	The open spaces, sidewalks, and meditation trail are available to walk through the site. A small play area is moving from adjacent Wyatt Way to the east side of the property.	
6a. Conceal Garage Doors	To ensure that street frontages are not dominated by vehicular storage facilities.	Entrances to parking garages and structures should be from alleys, access lanes, or minor side streets, rather than from principal through streets. If access from a principal street is unavoidable, such access should be restricted to a single, two-way curb cut for each development.	No parking garages are proposed.	
7. Overall Form	To create visual continuity among buildings having potentially different styles.	Buildings should utilize elements such as massing, materials, windows, canopies, and pitched or terraced roof forms to create both a visually distinct “base” as well as a “cap”.	The pitched roof creates a cap. The base is created by bricks to match the existing Chapel. The massing is broken up into several forms. The materials selected relate to the two existing buildings on the site.	
8. Entrances	To make it apparent from the street where major entrances to buildings are located.	Principal entrances to buildings should be visually prominent and located within close proximity to the public sidewalk. Entrances should incorporate elements such as setbacks, recesses, balconies, porches, arches, trellises, or other architectural devices.	The entrance to the proposed building is obvious but not prominent deferring to the Chapel entry as the main entrance.	
9. Conceal Mechanical Equipment	To ensure that larger pieces of mechanical equipment are visually unobtrusive.	Rooftop mechanical equipment should be concealed by and integrated within the roof form of a building. Simply surrounding it with a parapet wall is not sufficient.	All mechanical equipment will be screened.	
10. Structured Parking	To diminish the visual impact of parking as viewed from streets.	Any level of parking contained within or under a structure that is visible from a public street shall fully screen the parking with either another use, a facade that incorporates artwork, or trees and other vegetation.	There are no changes to the parking areas proposed. Along the Wyatt Way a full screen landscape buffer will be provided.	
11. Encouraging Varied Details	To ensure that denser types of housing include details that create a sense of human scale and that break down the bulk of larger buildings.	Buildings containing residential dwellings should incorporate most, if not all, of the following elements: <ul style="list-style-type: none"> • Front porches or stoops • Bay windows or dormers • Visible trim around windows and building corners • Base articulation, such as a plinth or first floor raised above grade 	No residential elements are proposed. The size of the proposed building, the materials selected and the window patterns create a human scaled building.	

Design Review Board Design Guideline Checklist
Mixed Use Town Center and High School Road Districts / General Design Guidelines– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
12. Integration	To ensure that signage is a part of the overall design approach to a project and not an afterthought.	The design of signs should be integrated with the architecture and site design of a project.	There is no signage as part of this proposal.	
13. Creativity	To encourage interesting and even unusual approaches to graphic design.	Signs should be expressive and even whimsical, exhibiting a graphic design approach to form and lighting. Standard, back-lighted, metal frame and plastic panel signs are discouraged.	There is no signage as part of this proposal.	
14. Awning Signs	To produce a visual effect that emphasizes buildings and vegetation, not advertising.	Signs painted on awnings are allowed, but awnings should not be internally illuminated.	There is no signage as part of this proposal.	

Guidelines Requiring Action per DRB:

DRB Summary Motion on Actions:

Design Review Board Design Guideline Checklist
 Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

City of Bainbridge Island

JUL 20 2016

Planning and
Community Development

X "Pre-App" Meeting Checklist

"Post-App" Meeting Checklist

Project Name/Case #: St. Barnabas Episcopal Church – PLN 50466

Land Use Application
(Pre-app, Site Plan Review etc.): Pre-Application for Site Plan and Design Review

Project Description: Demolish existing offices and stairway and replace with new offices, stairs, and elevator.

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
1.	To develop variation in façade treatment to provide visual interest.	Vary building materials or patterns to produce variations in texture.	The new building contains various building materials that relate to the existing Chapel and Parish Hall. The proposed brick base will match the Chapel and the board and batten siding texture and color compliment the Parish Hall.	
2.	To modulate the scale of building masses.	Building elevations shall be vertically modulated in no more than 20' increments or horizontally in no more than 30' increments. Modulation is defined as a change in plane or articulation (such as bands, cornices, setbacks or changes in material).	The building elevations are vertically and horizontally modulated in changes in plane as well as changes in materials.	

Design Review Board Design Guideline Checklist
 Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
3.	To limit the visual impact of blank walls and facades and better assure aesthetic appeal.	Blank walls shall not be visible to public spaces. Blank facades should otherwise be limited to the back of buildings or where required by the building code. Treatments to alleviate blank walls shall be similar in materials to facades normally in view of the public.	There are no blank walls proposed as part of this project.	
4.	To establish visually prominent ground floor facades.	The first floor of multi-storied buildings should be taller than upper floors. Minimum ceiling height should be at least 10' to allow transom or larger display windows. Other elements such as transom windows, canopies, cornices, and prominent entries are encouraged. First floor uses shall be pedestrian oriented and include substantial shop windows. Display windows on the first floor of retail and commercial buildings should be the predominant surface of the first floor.	The building is a single story structure over a daylight basement. The building is pedestrian oriented where pedestrians have access. The entry of this proposed building is obvious without being prominent and a distraction from the Chapel.	
5.	To maintain pedestrian scale along facades facing public ways.	Facades facing public ways shall incorporate setbacks or articulation that establishes a pattern of bays or window openings. Facades shall include features such as display windows, columns or bays, recessed entries or canopies or other recesses. The use of a variety of materials at the sidewalk level is encouraged. Multiple building entrances are encouraged.	The windows in the facades create a pattern and a variety of materials are being used.	

Design Review Board Design Guideline Checklist
 Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
6.	To maintain the pedestrian activities by encouraging continuous frontages along sidewalks.	Where parking fronts onto a public street, the maximum separation between buildings shall be 80 feet. Greater separations are permitted if landscape setbacks are increased or other design features such as low walls, trellises and public spaces are created along the street frontage.	There are no changes proposed to the existing parking.	
7.	To reduce overall scale of the building into multiple building masses.	Facades over 128' in length shall be separated by pedestrian passage or open space. Passages should be at least 12' wide and two stories in height if covered. Façade setback should be expressed at the roof line by changes in plane. Passage should connect to public open space.	The building masses are broken up by changes in plane, roof lines and materials.	
8.	To encourage the creation of public outdoor spaces.	Building setbacks may be increased for the creation of public outdoor seating areas. Entry alcoves and small outdoor spaces may be located between the building and the sidewalk.	There are 3 distinct outdoor gathering spaces. There are no public sidewalks along the public roads.	
9.	To soften the impact of the built environment.	Encourage public pedestrian passageways and vegetation between buildings.	The new building and the existing chapel will create a courtyard. Within this courtyard there will be landscaping around the edges.	
10.	To encourage compatibility of development with both community and neighborhood characteristics.	Building designs should respond to nearby buildings that meet the upgraded design standards by using shared elements, materials or massing.	The proposed building is designed to defer to the Chapel and relates to the Parish Hall. The materials proposed will be the same brick as the Chapel and wood siding, color, and roof slope as the Parish Hall.	

Design Review Board Design Guideline Checklist
Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

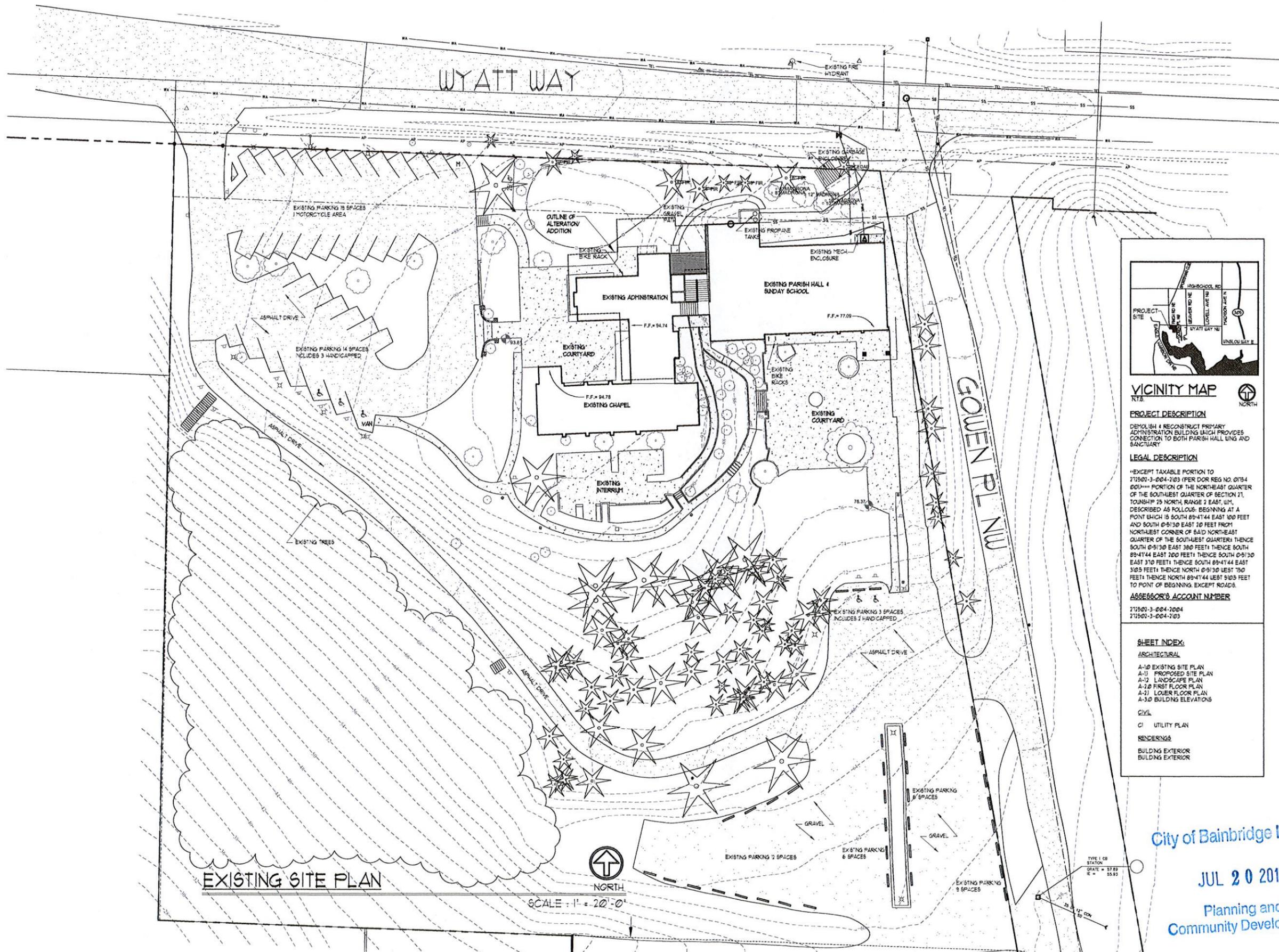
Applicable Design Guidelines				
Design Guideline	Design Guideline	Design Guideline	Design Guideline	Design Guideline
11.	To minimize the intrusiveness of commercial signage.	Signage, corporate colors and other icons of the business may not dominate the exterior of the building. including canopies and separate outdoor structures covering activities associated with the business. Color should be used to express changes in detail or material but exterior building or structure colors may not be used as signs, or the extension of signs. When businesses are sold or tenants are changed, any sign modification shall trigger this requirement.	There is no signage proposed.	
12.	To improve the pedestrian environment around buildings and minimize curb cuts.	Where a drive through facility is allowed, drive throughs must be in conjunction with a parking lot that serves the same business, must be to the side or rear of the building and should not be visible from public streets. Drive throughs should consist of no more than a single vehicle lane.	No drive through is proposed as part of this project.	
13.	To provide pedestrian access to buildings.	Provide multiple entrances along streets. Pedestrian passageways are encouraged.	There are no sidewalks along Wyatt Way. There are several sidewalks and courtyards within the site to encourage pedestrian access.	
14.	To provide weather protection for pedestrians.	Recessed entries and/or overhead weather protection above the sidewalk entrances shall be used.	There is a covered walkway between the chapel and the office building.	
15.	To maintain smaller scale commercial buildings.	Buildings in excess of a 10,000 square foot footprint should be visually split into two or more distinct elements.	There are 3 distinct building elements; the Chapel, Office Building, and Parish Hall.	

Design Review Board Design Guideline Checklist
 Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Design Guideline	Design Guideline	Design Guideline	Design Guideline
16.	To reduce the visual impact of parking areas.	Create small parking clusters connected by vegetated landscaping and pedestrian walkways. Internal streets that connect or serve parking areas shall be designed as streets with sidewalks, planters and pedestrian scale lighting.	There are no proposed changes to the parking areas. There are 3 small lots for parking separated by landscaping and connected by sidewalks.	

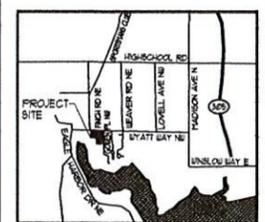
Guidelines Requiring Action per DRB:

DRB Summary Motion on Actions:



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Drawn By: RL/BJL
 Date: JUNE 2016
 Checked By: DJ
 Date: JULY 2016
 Approved For Owner By and Date



VICINITY MAP

PROJECT DESCRIPTION
 DEMOLISH & RECONSTRUCT PRIMARY ADMINISTRATION BUILDING WHICH PROVIDES CONNECTION TO BOTH PARISH HALL AND SANCTUARY

LEGAL DESCRIPTION
 EXCEPT TAXABLE PORTION TO 212507-3-004-203 (PER DOR REG NO. 0184 000) PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 25 NORTH, RANGE 2 EAST, WM, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS SOUTH 89°41'44" EAST 100 FEET AND SOUTH 0°51'30" EAST 20 FEET FROM NORTHEAST CORNER OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 0°51'30" EAST 380 FEET; THENCE SOUTH 89°41'44" EAST 700 FEET; THENCE SOUTH 0°51'30" EAST 310 FEET; THENCE SOUTH 89°41'44" EAST 303 FEET; THENCE NORTH 0°51'30" WEST 150 FEET; THENCE NORTH 89°41'44" WEST 5103 FEET TO POINT OF BEGINNING EXCEPT ROADS.

ASSESSOR'S ACCOUNT NUMBER
 212507-3-004-2004
 212507-3-004-203

SHEET INDEX:
 ARCHITECTURAL
 A-10 EXISTING SITE PLAN
 A-11 PROPOSED SITE PLAN
 A-12 LANDSCAPE PLAN
 A-20 FIRST FLOOR PLAN
 A-21 LOWER FLOOR PLAN
 A-30 BUILDING ELEVATIONS

CIVIL
 C1 UTILITY PLAN

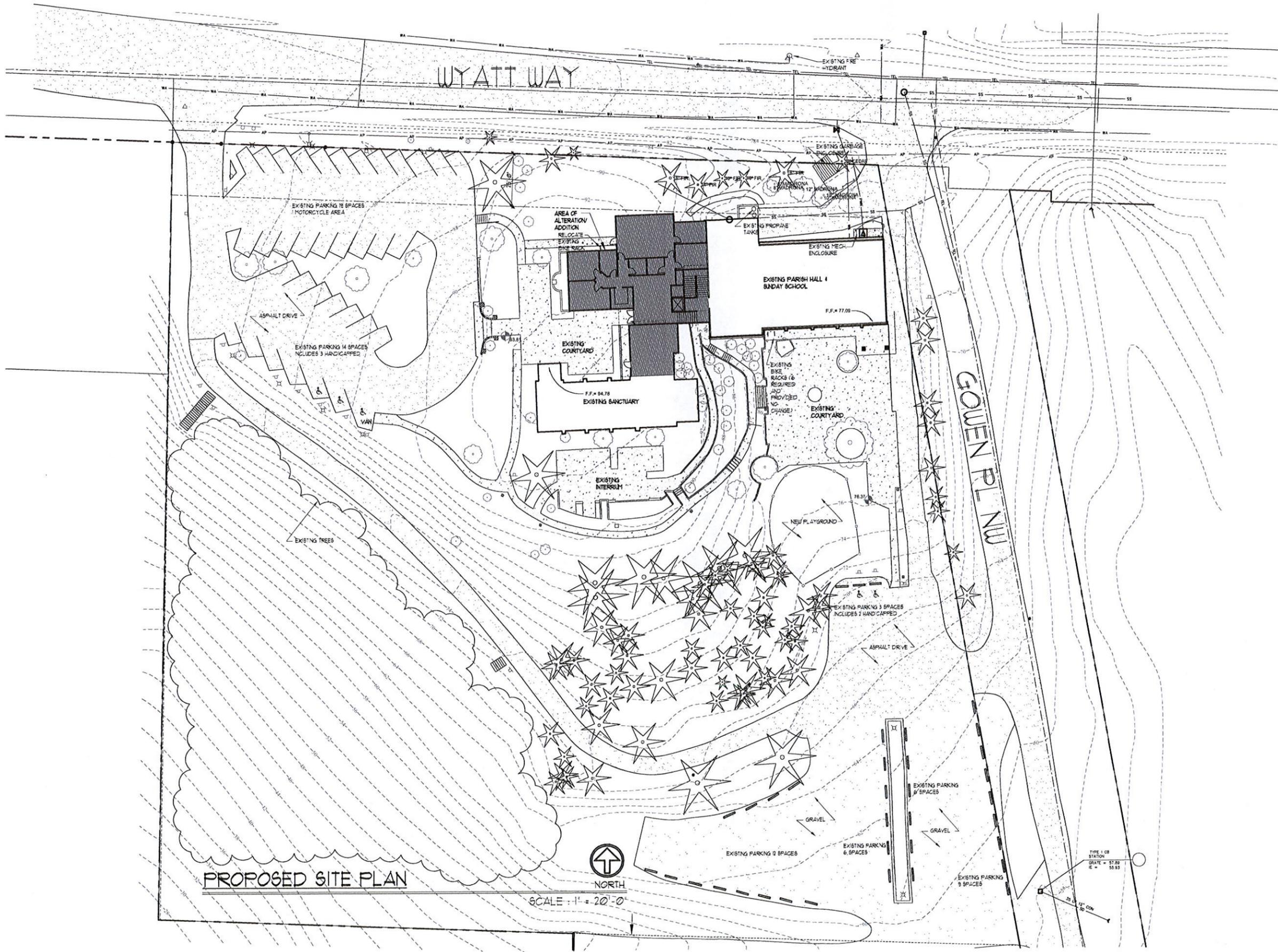
RENDERINGS
 BUILDING EXTERIOR
 BUILDING EXTERIOR

Revisions	No.	By	Date	Description
	1	RL/BJL	JULY 16	PRE-APPLICATION SITE PLAN & DESIGN REVIEW
	2	RL/BJL	JULY 16	SITE PLAN & DESIGN REVIEW

Project No: 16-111
 Project: ST. BARNABAS EPISCOPAL CHURCH - ADMINISTRATIVE ADDITIONAL ALTERATION
 Owner: ST. BARNABAS EPISCOPAL CHURCH
 WYATT WAY
 BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
 Sheet Title: EXISTING SITE PLAN
 Sheet No: A-10

City of Bainbridge Island
 JUL 20 2016
 Planning and Community Development

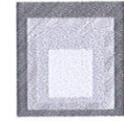


PROPOSED SITE PLAN



NORTH
SCALE : 1" = 20'-0"

JS
595 Madison Ave N.
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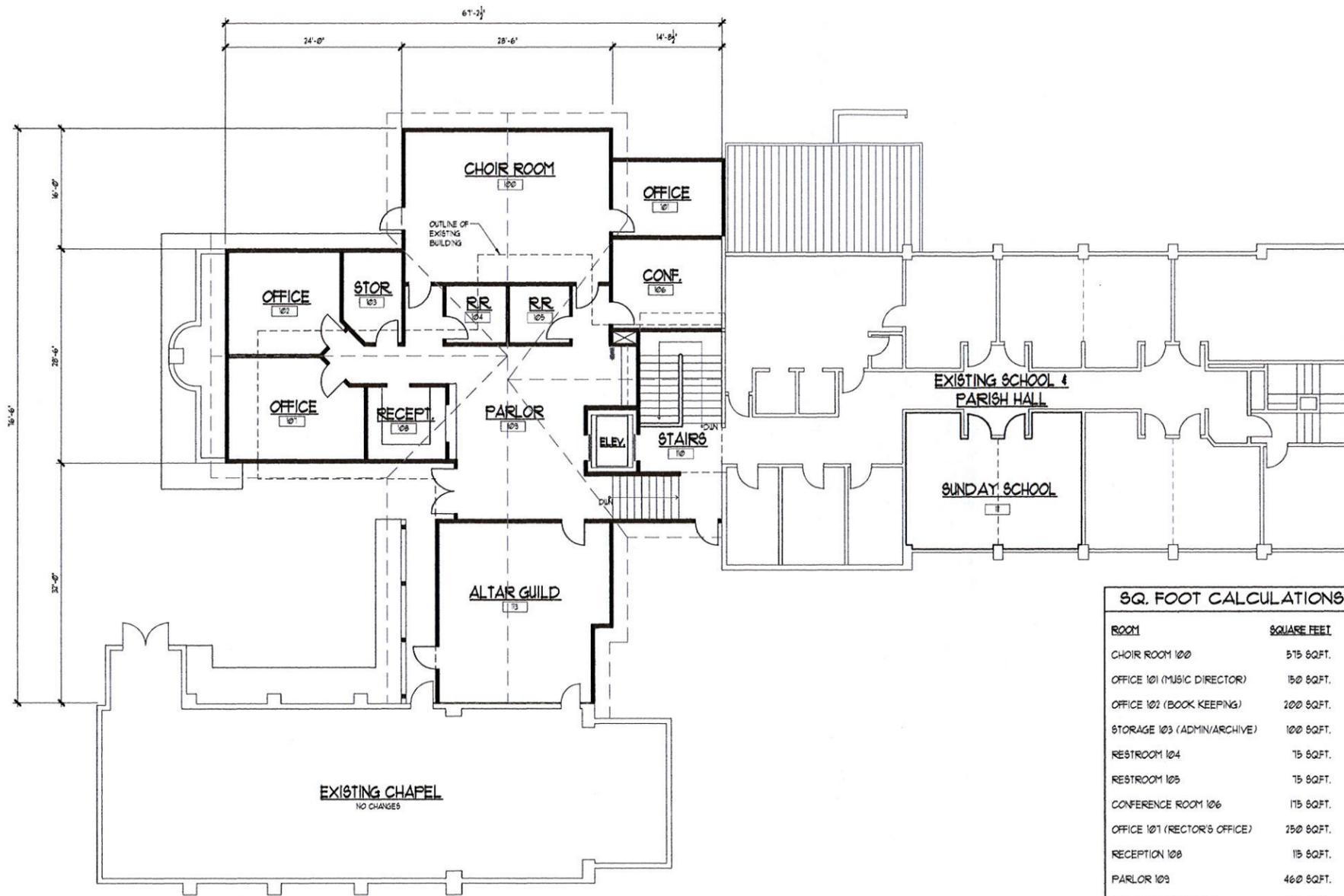
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Drawn By: RLEll
Date: JUNE 2016
Checked By: DJ
Date: JULY 2016
Approved For Owner By and Date:

Revisions	Description
No. By Date	PRE-APPLICATION SITE PLAN / DESIGN REVIEW
RLEll 9 JUNE 16	SITE PLAN / DESIGN REVIEW
RLEll 5 JULY 16	

Project No: 16-111
ST. BARNABAS EPISCOPAL CHURCH ADMINISTRATIVE ADDITIONAL TERRATION
Owner: ST. BARNABAS EPISCOPAL CHURCH
WYATT WAY
BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
Sheet Title:
PROPOSED SITE PLAN
Sheet No:
A-11



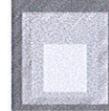
ROOM	SQUARE FEET
CHOIR ROOM 100	575 SQ.FT.
OFFICE 101 (MUSIC DIRECTOR)	150 SQ.FT.
OFFICE 102 (BOOK KEEPING)	200 SQ.FT.
STORAGE 103 (ADMIN/ARCHIVE)	100 SQ.FT.
RESTROOM 104	75 SQ.FT.
RESTROOM 105	75 SQ.FT.
CONFERENCE ROOM 106	175 SQ.FT.
OFFICE 107 (RECTOR'S OFFICE)	250 SQ.FT.
RECEPTION 108	115 SQ.FT.
PARLOR 109	460 SQ.FT.
ELEVATOR/ STAIRS 110	* 350 SQ.FT.
SUNDAY SCHOOL III	400 SQ.FT.
ALTAR GUILD 112	525 SQ.FT.

* ELEVATOR = 2500 LB CAPACITY
CAB SIZE APPROXIMATELY = 6'-8" X 4'-6"

MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

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Drawn By	RLB/ll	Date	JUNE 2016
Checked By	DJ	Date	JULY 2016
Approved For Owner		By and Date	

Revisions	Description
No. By Date	PRE-APPLICATION SITE PLAN + DESIGN REVIEW
RLB/ll 13 JUNE 16	SITE PLAN + DESIGN REVIEW
RLB/ll 15 JULY 16	

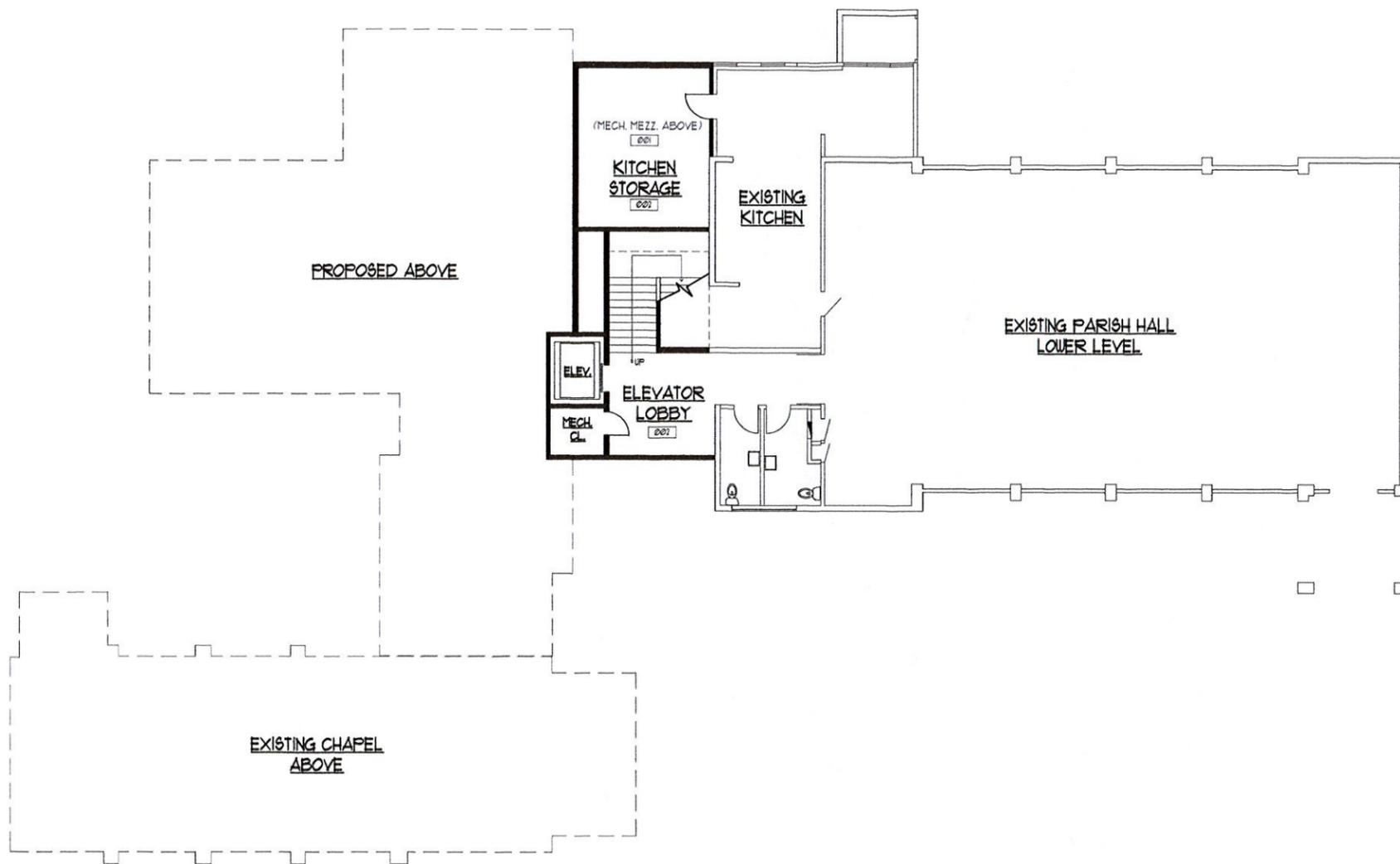
Project No: 16-111
ST. BARNABAS EPISCOPAL CHURCH ADMINISTRATIVE ADDITIONAL ITERATION

Owner:
**ST. BARNABAS EPISCOPAL CHURCH
 WYATT WAY
 BAINBRIDGE ISLAND, WA 98110**

Scale: 1/4" = 10' UNO.

Sheet Title:
MAIN FLOOR PLAN

Sheet No:
A-2.0



LOWER FLOOR PLAN

SQ. FOOT CALCULATIONS	
ROOM	SQUARE FEET
MECHANICAL MEZZANINE 001	300 SQFT.
KITCHEN STORAGE 002	300 SQFT.
ELEVATOR LOBBY 003	160 SQFT.

SCALE : 1/8" = 1'-0"

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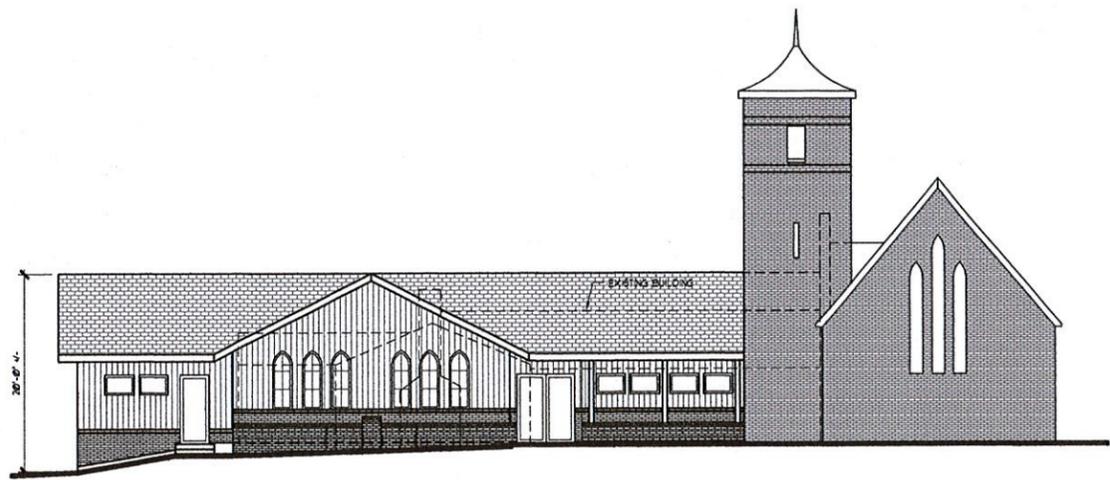
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Drawn By: RLIII
 Date: JUNE 2016
 Checked By: DJ
 Date: JULY 2016
 Approved For Owner By and Date:

Revisions	No.	By	Date	Description
	1	RLIII	JUNE 16	PRE-APPLICATION SITE PLAN + DESIGN REVIEW
	2	RLIII	JULY 16	SITE PLAN + DESIGN REVIEW

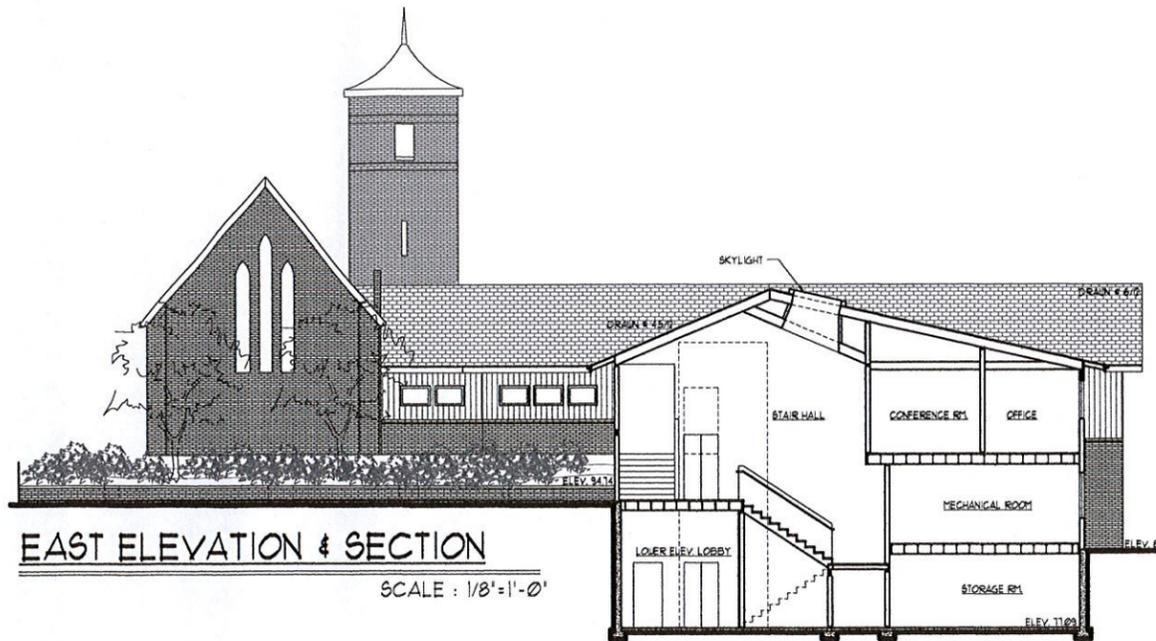
Project No: 16-111
 ST. BARNABAS EPISCOPAL CHURCH ADMINISTRATIVE ADDITIONAL ITERATION
 Owner: ST. BARNABAS EPISCOPAL CHURCH
 WYATT WAY
 BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
 Sheet Title: LOWER FLOOR PLAN
 Sheet No: A-2.1



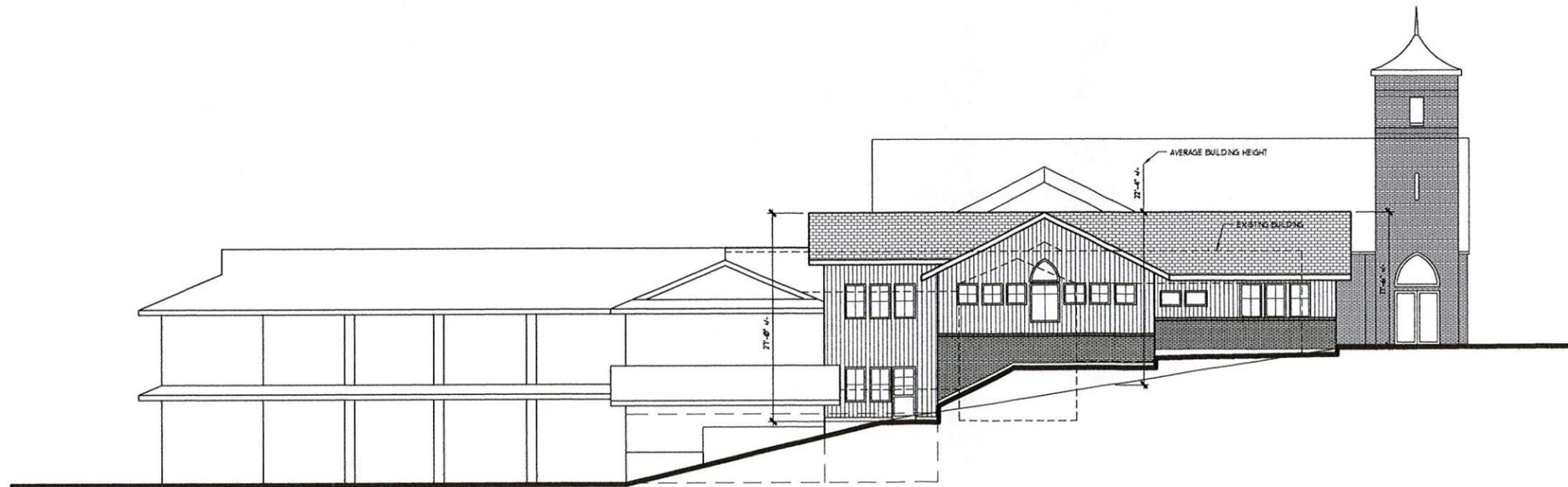
WEST ELEVATION

SCALE : 1/8" = 1'-0"



EAST ELEVATION & SECTION

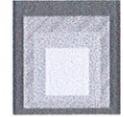
SCALE : 1/8" = 1'-0"



NORTH ELEVATION

SCALE : 1/8" = 1'-0"

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 Date: JUNE 2016
 Checked By: DJ
 Date: JULY 2016
 Approved For Owner By and Date:

Revisions	Description
No. By Date	PRE-APPLICATION SITE PLAN & DESIGN REVIEW
KLB III 13 JUNE 16	SITE PLAN & DESIGN REVIEW
KLB III 15 JULY 16	

Project No: 16-111
 ST. BARNABAS EPISCOPAL CHURCH ADMINISTRATIVE ADDITIONAL ITERATION
 Owner: ST. BARNABAS EPISCOPAL CHURCH
 WYATT WAY
 BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
 Sheet Title: BUILDING ELEVATIONS

Sheet No: A-3.0



WEST ELEVATION



NORTH ELEVATION



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Drawn By	MR	Date	FEB 2016
Checked By	DJ	Date	
Approved For Owner		By and Date	

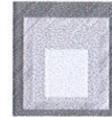
No.	By	Date	Description
	MR	12 FEB 16	PRE-APPLICATION SITE PLAN
	MR	5 JULY 16	SITE PLAN (DESIGN REVIEW)

Project No: 16-111
ST. BARNABAS EPISCOPAL CHURCH ADMINISTRATIVE ADDITIONAL ITERATION
 Owner: **ST. BARNABAS EPISCOPAL CHURCH**
WYATT WAY
BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
 Sheet Title: **BUILDING EXTERIOR**
 Sheet No:



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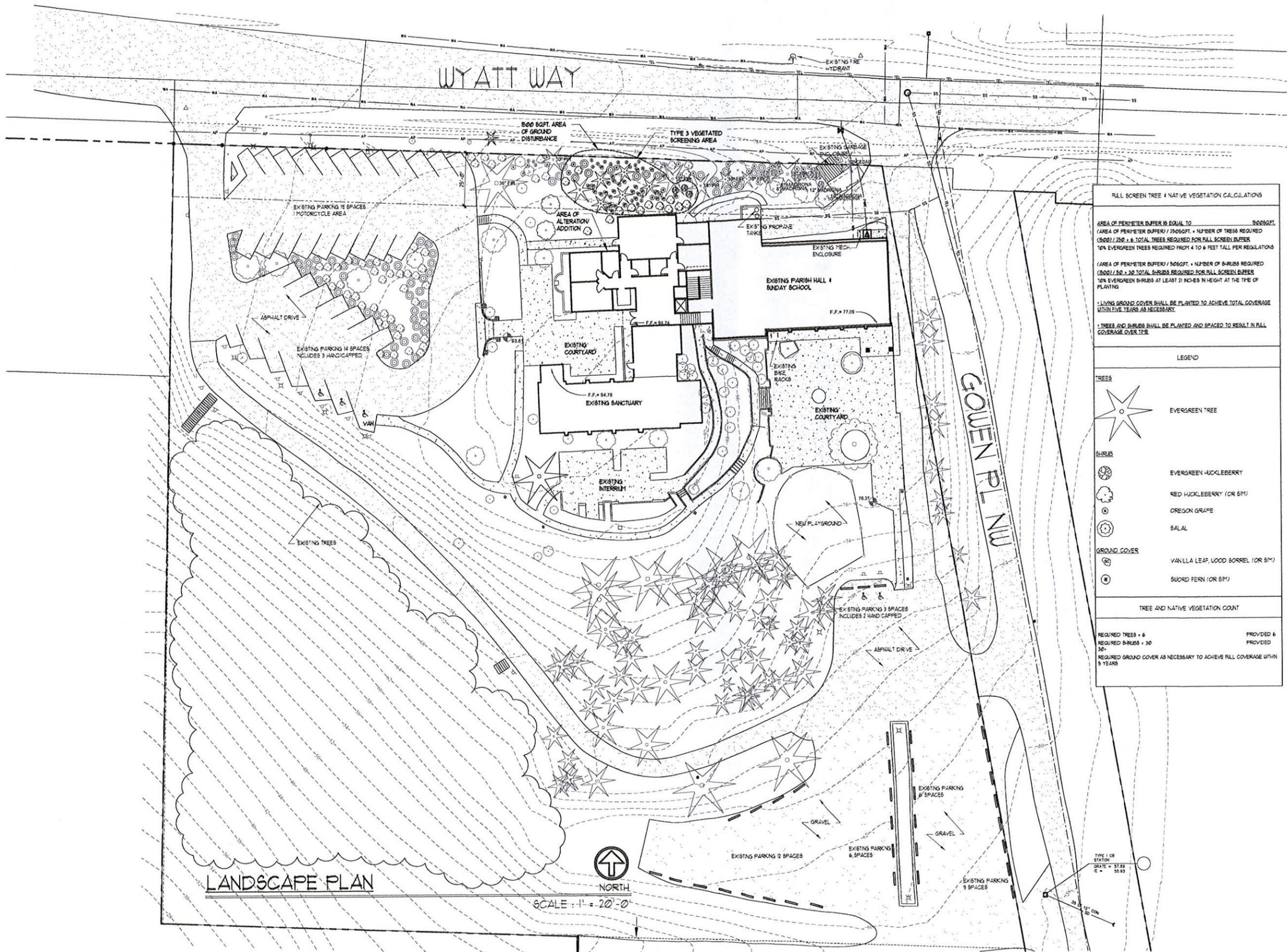
Drawn By: MR
 Date: FEB 2016
 Checked By: DU
 Date:
 Approved For Owner By and Date:

Description
 PRE-APPLICATION SITE PLAN
 SITE PLAN + DESIGN REVIEW

Revisions
 No. By Date
 MR 19 FEB 16
 MR 5 JULY 16

Project No: 16-111
 ST. BARNABAS EPISCOPAL
 CHURCH ADMINISTRATIVE
 ADDITIONAL ITERATION
 Owner: ST. BARNABAS EPISCOPAL CHURCH
 WYATT WAY
 BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
 Sheet Title:
 BUILDING
 EXTERIOR
 Sheet No:



FULL SCREEN TREE & NATIVE VEGETATION CALCULATIONS	
AREA OF PERIMETER BUFFER IS EQUAL TO 3000 SQFT. (AREA OF PERIMETER BUFFER) / 2500 SQFT. = NUMBER OF TREES REQUIRED (3000 / 250) = 6 TOTAL TREES REQUIRED FOR FULL SCREEN BUFFER 10% EVERGREEN TREES REQUIRED FROM 4 TO 6 FEET TALL PER REGULATIONS	
(AREA OF PERIMETER BUFFER) / 500 SQFT. = NUMBER OF SHRUBS REQUIRED (3000 / 50) = 30 TOTAL SHRUBS REQUIRED FOR FULL SCREEN BUFFER 10% EVERGREEN SHRUBS AT LEAST 21 INCHES IN HEIGHT AT THE TIME OF PLANTING	
* LIVING GROUND COVER SHALL BE PLANTED TO ACHIEVE TOTAL COVERAGE WITHIN FIVE YEARS AS NECESSARY.	
* TREES AND SHRUBS SHALL BE PLANTED AND SPACED TO RESULT IN FULL COVERAGE OVER TIME.	
LEGEND	
TREES	EVERGREEN TREE
SHRUB	EVERGREEN HUCKLEBERRY
	RED HUCKLEBERRY (OR 6M)
	OREGON GRAPE
	SALAL
GROUND COVER	VANILLA LEAF, LOOD BORREL (OR 5M)
	SWORD FERN (OR 5M)
TREE AND NATIVE VEGETATION COUNT	
REQUIRED TREES = 6	PROVIDED 6
REQUIRED SHRUBS = 30	PROVIDED
REQUIRED GROUND COVER AS NECESSARY TO ACHIEVE FULL COVERAGE WITHIN 5 YEARS	

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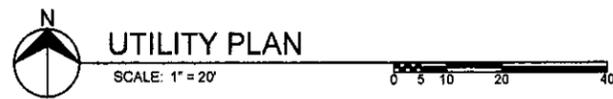
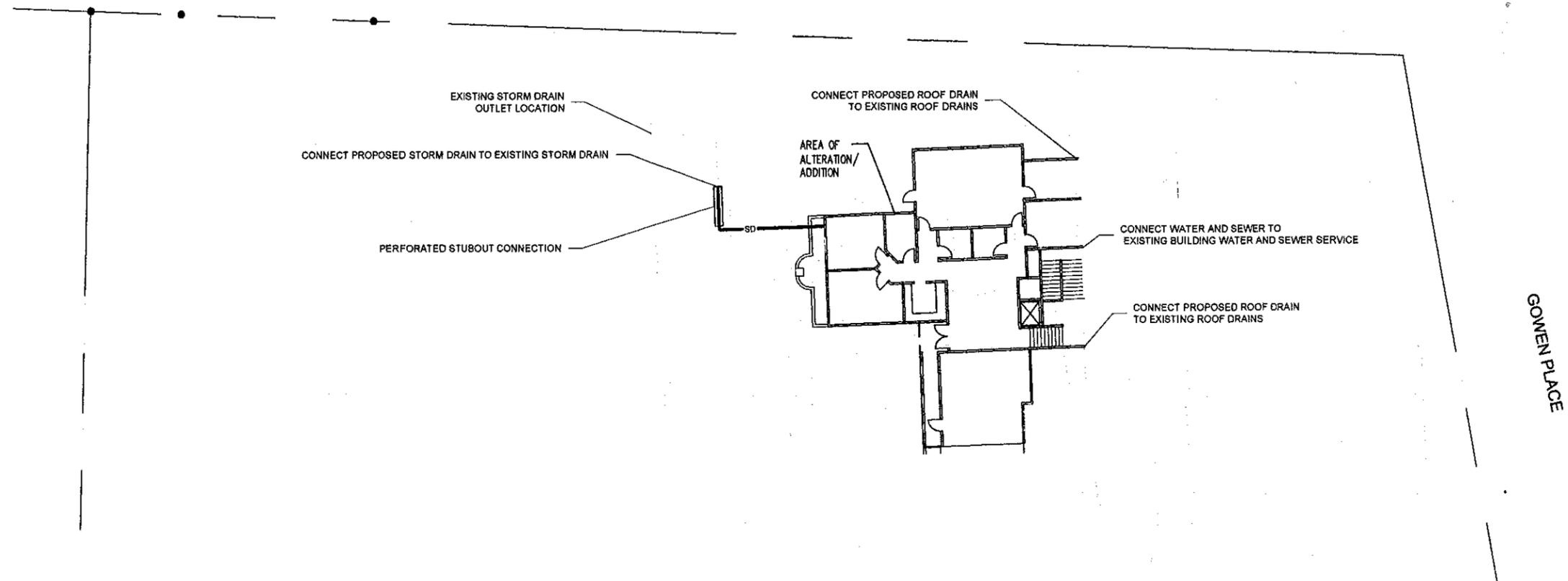
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Drawn By: RLEll
 Date: JUNE 2016
 Checked By: DJ
 Date: JULY 2016
 Approved For Owner By and Date:

Revisions	No.	By	Date	Description
		RLEll	JUNE 16	PRE-APPLICATION SITE PLAN & DESIGN REVIEW
		RLEll	JULY 16	SITE PLAN & DESIGN REVIEW

Project No: 16-111
 ST. BARNABAS EPISCOPAL CHURCH ADMINISTRATIVE ADDITIONAL TERATION
 Owner: ST. BARNABAS EPISCOPAL CHURCH
 WYATT WAY
 BAINBRIDGE ISLAND, WA 98110

Scale: 1/4" = 10' UNO.
 Sheet Title: LANDSCAPE PLAN
 Sheet No: A-12



UTILITY PLAN

NOTES:

1. STORMWATER MITIGATION MEASURES

NEW IMPERVIOUS = 927 SF
 REPLACED IMPERVIOUS = 2640 SF
 DISTURBED AREA = 4636 SF

THE MAJORITY OF THE ROOF WILL BE COLLECTED IN A NEW ROOF DRAIN SYSTEM AND BE ROUTED TO A PERFORATED STUBOUT CONNECTION AND THEN TO THE EXISTING ROOF DRAIN OUTLET.

2. DETAILED EROSION CONTROL PLAN WILL BE DESIGNED AND SUBMITTED WITH THE BUILDING PERMIT

3. POWER, TELEPHONE AND CABLE WILL BE DESIGNED BY OTHERS

PRELIMINARY
 NOT FOR CONSTRUCTION



UTILITY PLAN SAINT BARNABAS REMODEL SITE PLAN REVIEW		
BROWNE • WHEELER ENGINEERS, INC 241 ERICKSEN AVENUE NE BAINBRIDGE ISLAND, WA 98110 P 206.842.0605 INFO@BrowneWheeler.COM	JOHNSON SQUARED 595 MADISON AVENUE N BAINBRIDGE ISLAND WA 98110	DATE <u>7/18/16</u> DESIGNED <u>AEW</u> DRAWN <u>NDW</u> CHECKED <u>DWB</u> PROJECT # _____
	C1	