



**Design Review Board
Regularly Scheduled Meeting
Monday, April 18, 2016
2:00 – 5:00 PM
Council Conference Room
280 Madison Ave N
Bainbridge Island, WA 98110**

AGENDA

- 2:00 PM Call to Order (Attendance, Agenda, Ethics)
- 2:05 PM Approval of Minutes
February 1, 2016
February 22, 2016
March 7, 2016
March 22, 2016
- 2:15 PM Fort Ward Community Hall (PLN50380SPR/CUP)
Project Location: 9705 Evergreen Ave
Project Manager: Heather Wright
- 3:00 PM Grow Community Phase II (PLN50481SPRA)
Project Location: Shepard Way
Project Manager: Heather Wright
- 4:00 PM Wintergreen Medical Building (PLN50231SPRA)
Project Location: Wintergreen Lane
Project Manager: Joshua Machen
- 4:50 PM New/Old Business
- 5:00 PM Adjourn

Call to Order (Attendance, Agenda, Ethics)
Approval of Minutes – December 7, 2015 and December 21, 2015
Fort Ward Community Center (PLN50380PRE)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:00 PM. Design Review Board members in attendance were Jim McNett, Chris Gutsche, Jeffrey Boon, Susan Bergen and Peter Perry. Chuck Depew was absent and excused. Interim Planning Director Joseph Tovar and Planning Manager Josh Machen were present. Mr. Machen monitored recording. Administrative Specialist Jane Rasely was absent but prepared minutes from meeting recording. The agenda was reviewed without any conflicts reported.

Chair Granger had everyone introduce themselves.

Approval of Minutes – December 7, 2015 and December 21, 2015

Motion: I move to approve both sets of minutes.

Perry/Gutsche: Unanimously approved.

Fort Ward Community Center (PLN50381PRE)

Mr. Machen provided an introduction to the Fort Ward Community Center project in Senior Planner Heather Beckmann's absence. He mentioned the historic bakery was being turned into a community center. It was mentioned the bakery did not currently have any parking, but the applicant stated they were currently in discussion with the Public Works Department about creating parking in an adjoining space.

Mr. Will Shopes from the Historic Preservation Commission provided the historical background of the Fort presenting the original advertisement for contractor bids as well as a copy of the original blueprints. He also illustrated the history of the bakery building from conception to current day. Mr. Shopes presented the rough plans for the inside of the community center stating that Kitsap Sewer District (building owner) would maintain a small office in the building. Ariel Jamison from Wenzlau Architects presented the landscape plan and the properties contained within the project as well as right of way improvements, buffer maintenance and Stormwater management. Ms. Bergen suggested breaking up the large parking lot with more landscaping to separate it from the walkway/pedestrians going to the building. Ms. Jamison stated they would be looking at the landscape plan again and it may change. Open discussion then occurred regarding the entire property and connections to adjacent properties that might be developed in

the future. Different parking options were offered up. Mr. McNett stated he felt this was a great project.

New/Old Business

Mr. Grainger canvassed the DRB member's availability to meet on the February 22 instead of February 15, which was the Presidents Day holiday. Consensus was there would be a quorum.

Mr. Perry asked about ground cover and how large the plantings had to be within the buffer along Highway 305, specifically by Key Bank at the Visconsi project. He asked if it was checked up on by the City. Planning Manager Machen replied there was a three year landscaping bond required and that at the end of those three years, there was an inspection. Mr. Perry responded with asking what could be done before the three year period was up. Council Liaison Ron Peltier said he would appreciate any suggestions they had regarding a standard that must be met in landscaping. The conversation then turned to having a landscape expert do an inspection but it was recognized the City did not have the resources for that at this time.

Adjourn

The meeting was adjourned at approximately 3:20 PM.

Approved by:

Alan Grainger

Jane Rasely

Call to Order (Attendance, Agenda, Ethics)
Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)
Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)
Wyatt Cottages (PLN50165SPR)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Grainger called the meeting to order at 2:06 PM. Other Design Review Board members in attendance were Jim McNett, Chuck Depew and Chris Gutsche. Peter Perry, Susan Bergen and Jeff Boon were absent and excused. City Staff present were Planning Manager Josh Machen and Administrative Specialist Jane Rasely who monitored recording and prepared minutes.

The agenda was reviewed and Mr. Grainger asked that the fire departments be reviewed in the opposite order with review of BIFD Station 22 coming first. There were not any conflicts of interest disclosed.

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Planning Manager Josh Machen gave an overview of the changes to the project citing the unexpected change in City personnel that occurred on both BIFD projects.

Brett Hansen and Chauncey Drinon from Mackenzie Architects presented the proposed site plans for both fire stations. Mr. Drinon walked the DRB through the changes made to Station 22 stating the biggest change was the removal of the public meeting space. Landscaping elements, types of shrubbery, etc., were highlighted. He stated with the removal of the public meeting room, less impervious surface would be created and more trees would be saved as the entire project would be moved further south on the site. Mr. Grainger asked if there was a site plan available that showed the reduction in parking. Mr. Hanson replied there was not one available at that time. Mr. Gutsche asked how much closer to the street the building would be. Mr. Hanson replied it would be 20-25 feet closer. Mr. Depew asked what the reduction in the building size would be. Mr. Drinon replied the building would go from 15,000 square feet to 14,000 square feet. Color and design materials were presented and described as applicable to both Fire Station 22 and 21.

Mr. McNett asked if there would be any mechanical equipment on the roof. It was stated there would not be any mechanical equipment on either of the proposed fire station roofs. Discussion of the trash enclosure ensued with Mr. Machen reminding the designers that the enclosure must be designed and built in the same style as the building.

The Design Checklist was reviewed with the following answers given by the DRB:

1. Variation in facade provided visual interest - Yes
2. Modulate scale of building - Yes
3. Limit visual impact of blank walls and facades - Yes
4. Establish visually prominent ground floor facades - Yes

5. Maintain pedestrian scale along facades - Yes
6. Maintain pedestrian activities - Yes
7. Reduce overall scale of building - Yes
8. Encourage creation of public outdoor spaces – No; Gap in application. Mr. Hanson stated they would submit the landscape plan.
9. Soften impact of built environment - Yes
10. Compatible with community and neighborhood characteristics - Yes
11. Minimize intrusiveness of signage - Yes
12. Improve pedestrian environment - Yes
13. Provide pedestrian access - Yes
14. Provide weather protection for pedestrians - Yes
15. Maintain smaller scale commercial buildings - Yes
16. Reduce visual impact of parking areas - Yes

Motion: I move conditional approval of application subject to submission of a final site plan that conforms to the new design as well as the landscaping plan that relates to that site plan based on their presentation on March 7, 2016.

Depew/Grutsche: Unanimous approval.

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Mr. Hansen provided a review of the key element questions the DRB had during the pre-application presentation. He stated there was a reduction in the size of the building by one equipment bay. Some of the administration function was moved back to the first floor with the bulk staying on the second floor. Mr. Hansen also reiterated they would be using the same materials and design concepts as Fire Station 22 to maintain continuity between fire stations as well as provide recognition from the public. The private areas of the fire station were explored and locations of the gates were shown. Discussion ensued of the roofline over the southern part of the bays/service area. Arguments were presented for moving the “fire tower” with the identifying 21 to the other end of the bays from its current situation with numerous other locations for the “21” explored. Mr. Grainger asked Mr. Machen whether the site plan typically included the landscape plans. Mr. Machen stated it could be part of it, but was not necessarily part of the Design Guidelines. He also pointed out that the landscaping plans were part of the packet and that a presentation by the actual landscape architect had not been expected in the past. The DRB asked for them to come back with landscape information as they were going to do for Station 22.

The Design Checklist was reviewed with the following answers given by the DRB:

1. Variation in façade provided visual interest - Yes
2. Modulate scale of building - Yes
3. Limit visual impact of blank walls and facades - Left Open to see south elevation again
4. Establish visually prominent ground floor facades - Yes
5. Maintain pedestrian scale along facades - Left Open to see landscape plan
6. Maintain pedestrian activities - Yes
7. Reduce overall scale of building - Yes
8. Encourage creation of public outdoor spaces - Left Open to see landscape plan
9. Soften impact of built environment - Left Open to see landscape plan
10. Compatible with community and neighborhood characteristics - Yes
11. Minimize intrusiveness of signage - Yes
12. Improve pedestrian environment - N/A

13. Provide pedestrian access - Yes
14. Provide weather protection for pedestrians - Yes
15. Maintain smaller scale commercial buildings - Yes
16. Reduce visual impact of parking areas - Yes

Motion: I move we approve the design as shown with the contingency based on the presentation of the landscape plan by the landscape architect. Approval also contingent upon material requirements brought forth at next meeting (March 7, 2016).

McNett/Depew: Passed unanimously

Wyatt Cottages PLN50165 SPR

Josh Machen provided an overview of the changes to the design that was seen at the pre-application review.

When the applicant entered, introductions were made around the table. There were two citizens/neighbors present as well as developer James Laughlin and architect Bruce Anderson. Mr. Anderson provided a review of the previous action during the pre-application phase as well as an overview of the current project mentioning that the “tot lot” park was no longer being moved. Mr. Laughlin mentioned that he held an open house at the Oliver house and invited all members of the public who left their e-mails during the pre-application phase to view the new plans which were well received. Mention was made of the two parking spaces the park district asked for the applicant to provide for the park. (BIMPRD actively discourages parking at the “tot lot.”) Mr. Grainger asked about the large scale trees in the small scale landscaping. Mr. Anderson stated those would be going closer to the park. Lighting of entry ways as well as the driveway was discussed as “moon” light as opposed to “up” lighting. Mr. McNett asked whether covers for vehicle parking would be allowed. Mr. Laughlin stated if the owners all voted for that (the development would be a condominium) they could do that but it would be written into the CCRs. There was discussion with citizens (see attached sign-in sheet) regarding the acceptability of changes made to the site plan from the previous site plan submitted.

Motion: I move acceptance of the revised site plan for the project.

Answers to Design Guidelines were:

1. **Parking lot visually unobtrusive – Yes**
2. **Open space and amenities – Yes**
3. **Pedestrian connection – Yes**
4. **Shielded lighting – Yes**
5. **Service areas screened – Yes**
6. **Common open space – Yes**
7. **Overall form – Very positive**
8. **Entrances from street clear – Yes**
9. **Mechanical equipment concealed – Yes**
10. **Structured parking – N/A**
11. **Varied details – Yes**
12. **Integrated signage – N/A**

- 13. Creativity – Yes**
- 14. Awning signs – N/A**
- 15. Landscape front setbacks – Yes**
- 16. Strong reference point to key intersections – Yes**
- 17. Residential roof forms – Not following normal, but great solution**

**Motion: I move acceptance of the revised site plan for the project.
Depew/McNett: Passed unanimously 4-0**

New/Old Business

Mr. Grainger informed the other DRB members he would be their representative at the all-day interview process for the new Planning Director on February 23, 2016.

Adjourn

The meeting was adjourned at 6:00 PM.

Approved by:

Alan Grainger

Jane Rasely

Call to Order (Attendance, Agenda, Ethics)
Approval of Minutes - January 4, 2016
Jones House Site Plan Review (PLN50311SPR)
Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)
Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Alan Grainger called the meeting to order at 2:14 PM. Design Review Board (DRB) members in attendance were Jim McNett, Chuck Depew, Chris Gutsche and Jeffrey Boon. Susan Bergen and Peter Perry were absent and excused. Council Liaison Ron Peltier attended. City Staff present were Planning Manager Josh Machen, Senior Planner Heather Beckmann and Administrative Specialist Jane Rasely who monitored recording and prepared minutes. The agenda was reviewed without any conflicts reported.

Approval of Minutes - January 4, 2016

**Motion: I move to approve the minutes.
Gutsche/Depew: Passed unanimously**

Jones House Site Plan Review (PLN50311SPR)

Jon Thornburgh presented the newest information for the Jones House, one of the two houses his family owns on Ericksen Avenue. He passed out new plans stating the site plans contained in the agenda packet were out of date. Mr. Thornburgh answered the previous questions from the DRB showing pictures of mature trees and giving explanations as to the thought process that went into the site plan. Mr. Grainger engaged in a discussion of moving the staircase in order to facilitate door and dormer placement on the second floor. ADA parking was presented as well. The need for underground parking was canvassed and it was suggested that Mr. Thornburgh check with Project Manager Heather Beckmann about possibilities regarding the height and underground parking correlation and whether underground parking was necessary to accommodate the increased height of the building. Mr. McNett and Mr. Depew agreed it would have been nice to see actual pictures of the current building.

Discussion of the DRB's role in determining land use occurred between project reviews with the Assistance Dogs of Hawaii project used as an example.

Conversation about public buildings and how the requirements are different than for private projects led out of a preview of the landscape plans for BIFD Station 22.

Chris Gutsche excused himself from the meeting briefly at 3:10 PM.

Bainbridge Island Fire Department Station 22 (PLN14200SPR/CUP)

Mr. Brett Hansen introduced Jeff Bouma who spoke about the landscape site design. Mr. Bouma stated they had surveyed and inventoried every tree on both sites as well as updated the buffer diagrams. He said they were meeting the buffer requirements for both sites. He also stated they would be saving 134 out of 140 trees at Station 22. He furthered the discussion by relating the impetus for the plant palate citing an inspirational beautiful Japanese maple tree onsite. Mr. Depew asked about the difference in plants chosen for a rain garden as opposed to other areas on a site. Mr. Hansen spoke about the adjustments in parking due to the change in programming for the building. Removing some of the parking spaces allowed for increased landscaping. ADA parking and the trash closure were revisited. It was stated that full screen buffers were planned for the southern border of the property.

Bainbridge Island Fire Department Station 21 (PLN11791SPR/CUP)

Mr. Bouma gave the overview of the plant palate for Station 21 stating there were more evergreens in this palate to provide structure and year round color. He also stated that because of visibility from the road, as well as the big, long apparatus bay, the landscaping would be a little less natural until further out toward the edge of the property. The grouping of trees placed strategically against the large southern wall of the apparatus bays was described. Mr. McNett asked how big the trees would be when they were planted. Placement of trees, benches and perhaps a covered bench at the entrance were discussed. Mr. Gutsche asked what percentage of stormwater was being managed on the site. The answer was 100% was being handled through rain gardens. Mr. Hansen then presented the promised updates.

Charles Schmid, Citizen – Asked whether trees within the buffer along Highway 305 would be removed. Mr. Bouma stated none of them would be removed.

Mr. Grainger asked if there had been any thought to connecting the public transportation drop-off point on Highway 305 to the sidewalk on Madison. Mr. Hansen stated a walk lane would be provided by the fog lane.

Motion: I move that the Fire Stations 21 and 22 have met the contingencies to their approval.

Gutsche/McNett: Unanimously approved.

New/Old Business

There was extensive discussion about how to really save trees on properties being developed and how to prevent clear cutting. Tree and building clusters and the efficacy of clustering were questioned. Mr. Grainger wondered why new subdivision developments did not have to come to the DRB. Mr. Peltier asked the DRB if they felt they had the time to take on expanded duties.

He also asked them to look at the Land Use Element of the Comprehensive Plan and felt that might be a good place to expand the purview of the DRB. The DRB felt it would be helpful to have a work session with the new Planning Director when he arrives. Mr. Peltier thanked the DRB for their work and said he found their work interesting.

Adjourn

The meeting was adjourned at 4:56 PM.

Approved by:

Alan Grainger

Jane Rasely

DRAFT

Call to Order
Approval of Minutes
Grow Community Lot 31 (PLN13551GPRE)
New/Old Business
Adjourn

Call to Order (Attendance, Agenda, Ethics)

Chair Grainger called the meeting to order at 2:04 PM. Design Review Board (DRB) members in attendance were Chuck Depew, Jim McNett, Jeff Boon and Chris Gutsche. Susan Bergen and Peter Perry were absent and excused. City Council member Ron Peltier was also present. City Staff present were Senior City Planner Heather Beckmann and Administrative Specialist Jane Rasely who monitored recording and prepared minutes. There were not any conflicts reported.

Approval of Minutes - February 1, 2016

Minutes were not approved as submitted because Chuck Depew, who was not present at the meeting, was listed as attending. Minutes will be resubmitted at the next meeting.

Grow Community Lot 31 (PLN 13551G PRE)

Senior City Planner Heather Beckmann gave an overview of the proposed changes to Lot 31 highlighting the changes to the pathways and the removal of terraced gardens. Ms. Beckmann stated the size change to their community center also incurred changes to the Open Space Plan which was in the process of being reviewed again. The question of lighting on the stairways facing Wyatt Way was broached and Ms. Beckmann stated the developer was working to find the right light fixture that would provide safety without creating a distracting glare.

Mr. Greg Lotakis was invited in at 2:31 PM. Chair Grainger began the discussion by asking, “Why the change?” Mr. Lotakis gave a history of the project stating the first phase of the Grow project had been completed and Lot 31 was the last binding piece to both phases. Design Elements listed were:

- Flattened gardens to be more accessible
- Tunnel connection from Phase I parking garage and Buildings A - H
- Awning for covered bike storage
- Awning will provide opportunity for solar panels to meet “Net Zero” goal



**Design Review Board
Regularly Scheduled Meeting Minutes
Monday, March 21, 2016
2:00 – 5:00 PM
Council Conference Room
280 Madison Ave N
Bainbridge Island, WA 98110**

Two or three Design “sharettes” or creative sessions were completed with the residents of Grow – Phase I as well as one for the community helped shape the changes to the community center.

There was extensive discussion regarding the roof of the community center and how large it will appear to the residents facing it from above. The question of “Why the change?” was brought up again and widely discussed. Mr. McNett stated he would like to see this project again with the architect attending and a landscape plan as well. Mr. Grainger felt they did not have enough information to advise Ms. Beckmann. It was decided the project would return on April 4, 2016 and would include a teleconference with the project’s architect in Colorado.

New/Old Business

None.

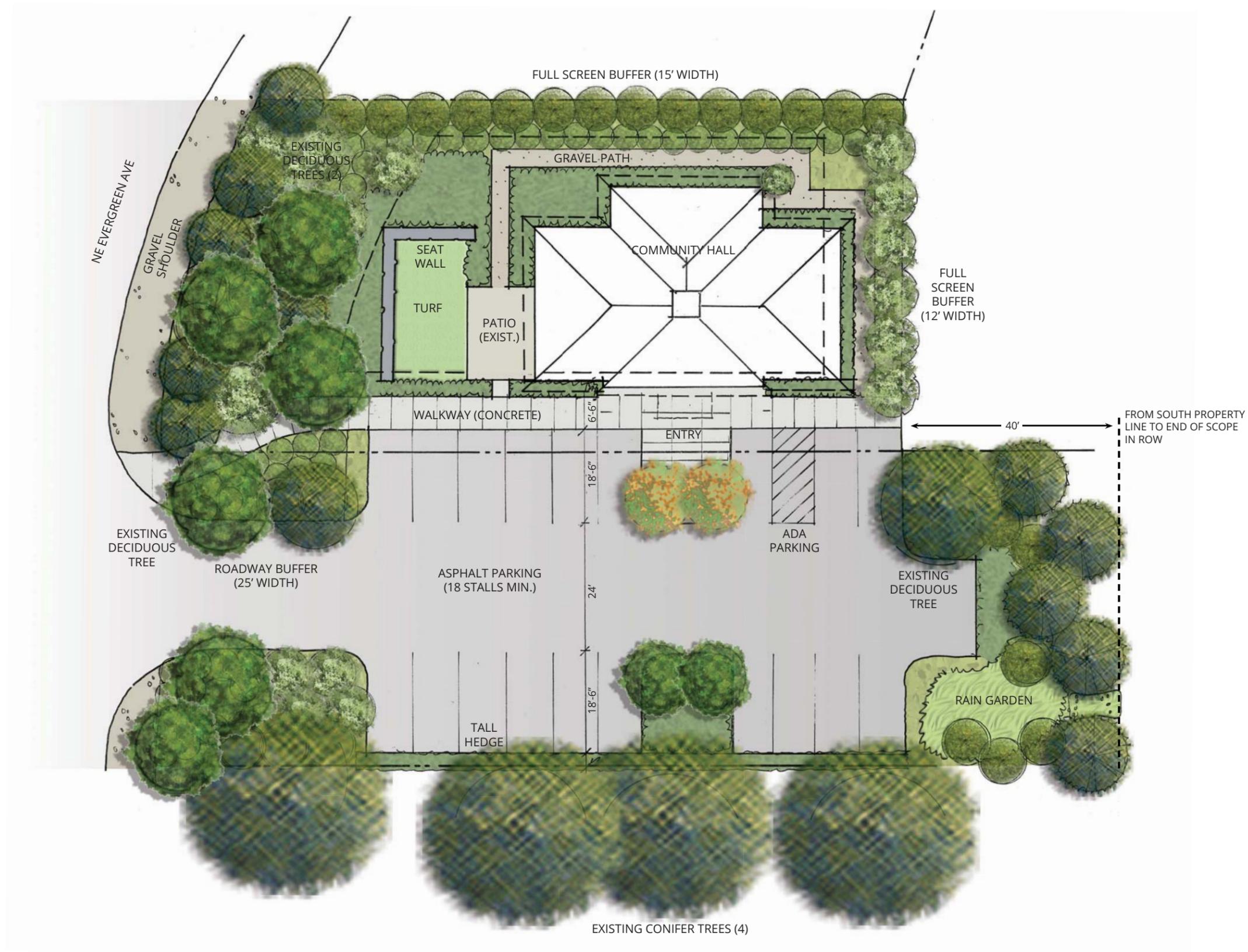
Adjourn

The meeting was adjourned at 3:21 PM.

Accepted by:

Alan Grainger, Chair

Jane Rasely, Administrative Specialist



FORT WARD COMMUNITY HALL - SITE PLAN CONCEPT

PLANT SCHEDULE

	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
F E D C B A	TREES					
	COR EDD	1	CORNUS NUTTALLII 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	B & B	2" CAL
	EXI ASH	1	EXISTING ASH	EXISTING ASH	NA	
	EXI PEA	3	EXISTING PEAR	EXISTING PEAR	NA	
	MAG DEN	1	MAGNOLIA DENUDATA	WHITE YULAN MAGNOLIA	B & B	2" CAL
	MAG STR	7	MAGNOLIA GRANDIFLORA 'STRGRA'	BABY GRAND MAGNOLIA	B & B	2" CAL
	MAL ADI	2	MALUS X 'ADIRONDACK'	ADIRONDACK CRABAPPLE	B & B	2" CAL
	PAR VAN	1	PARROTIA PERSICA 'VANESSA'	PERSIAN PARROTIA	B & B	2" CAL
	PIC ORI	4	PICEA ORIENTALIS	SPRUCE	B & B	NA
	PIN KLE	1	PINUS CEMBRA 'KLEIN'	SILVER WHISPERS SWISS STONE PINE	B & B	NA
	PRU YED	1	PRUNUS X YEDOENSIS	YOSHINO CHERRY	B & B	2" CAL
	THU DEG	27	THUJA OCCIDENTALIS 'DEGROOTS SPIRE'	DEGROOTS SPIRE ARBORVITAE	B & B	NA
	THU GRE	5	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B & B	NA
	SHRUBS					
	ARB COM	15	ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY TREE	3 GAL	
CAM GOG	2	CAMELLIA JAPONICA 'GOGGY'	GOGGY JAPANESE CAMELLIA	10 GAL		
CAM YUL	2	CAMELLIA VERNALIS 'YULETIDE'	CAMELLIA	3 GAL		
COR CAR	7	CORNUS STOLONIFERA 'CARDINAL'	CARDINAL REDTWIG DOGWOOD	3 GAL		
ILE SOF	18	ILEX CRENATA 'SOFT TOUCH'	SOFT TOUCH JAPANESE HOLLY	2 GAL		
MYR CAL	9	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	3 GAL		
NAR THA	55	NARCISSUS X 'THALIA'	THALIA DAFFODIL	BULB		
OST AVE	21	OSTEOSPERMUM X 'AVALANCHE'	AVALANCHE WHITE SUN DAISY	1 GAL		
PIN COM	8	PINUS MUGO PUMILIO 'COMPACT SELECT'	COMPACT MUGO PINE	5 GAL		
RHA RUT	18	RHAPHIOLEPIS UMBELLATA 'RUTRHAPH1'	SOUTHERN MOON YEDDA HAWTHORN	3 GAL		
RHO HIN	26	RHODODENDRON AZALEA 'HINO CRIMSON'	HINO CRIMSON AZALEA	2 GAL		
RHO CHI	6	RHODODENDRON X CHIONOIDES	CHIONOIDES RHODODENDRON	3 GAL		
RHU GRO	20	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	2 GAL		
ROS MAR	15	ROSA X 'MARCHESA BOCCELLA'	MARCHESA BOCCELLA SHRUB ROSE	2 GAL		
SAR HOO	17	SARCOCOCCA HOOKERIANA HUMILIS	SWEET BOX	2 GAL		
SYR POC	2	SYRINGA X HYACINTHIFLORA 'POCAHONTAS'	POCAHONTAS LILAC	5 GAL		

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	ARC MAS	668	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNIKINNICK	4" POT
	BAC MAG	41	BACCHARIS MAGELLANICA	CHRISTMAS BUSH	4" POT
	BLE SPI	28	BLECHNUM SPICANT	DEER FERN	4" POT
	CAR OBN	65	CAREX OBNUPTA	SLOUGH SEDGE	PLUG
	DRY LEP	46	DRYOPTERIS LEPIDOPODA	SUNSET FERN	4" POT
	JUN PAT	194	JUNCUS PATENS	CALIFORNIA GRAY RUSH	4" POT
	LON PIL	11	LONICERA PILEATA	PRIVET HONEYSUCKLE	1 GAL
	RUB EME	75	RUBUS CALYCINOIDES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT
	SOD %PE	365 SF	SOD LAWN SOD	60% PERENNIAL RYE / 40% FESCUE	FLAT

PLANTING NOTES

- PLANTING DESIGN PER BMC 18.15.010.F.2.C AND D FOR PARKING LOT PLANTING AND 18.15.010.E.1 FOR FULL SCREEN PLANTING.
- SEE PLANT SCHEDULES FOR SPECIES, QUANTITIES, AND MINIMUM SPACING. CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SOIL AMENDMENTS IN SOIL PREPARATION AND FINISH GRADING.
- TOPSOIL, WHETHER IMPORTED OR AMENDED ON SITE, SHOULD HAVE A DEPTH OF 12" MIN IN ALL LANDSCAPED AREAS WITH THE EXCEPTION OF THE TURF (4" MIN). PRIOR TO PLACEMENT OF TOPSOIL, SCARIFY SUBGRADE TO A DEPTH OF 6" AND TILL IN 3" DEPTH OF ORGANIC COMPOST.
- FOR ALL TOPSOIL, THE CONTRACTOR SHALL OBTAIN A LANDSCAPE SOIL ANALYSIS CERTIFYING THAT THE SOIL MEETS THE SOIL SPECIFICATIONS. THE CERTIFICATION SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT AND APPROVED PRIOR TO SOIL DELIVERY.
- REMOVE INVASIVE SPECIES, INCLUDING ROOTS, FROM SITE.
- APPLY 3" DEPTH OF COMPOSTED ORGANIC BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, SAWDUST, AND SHALL NOT CONTAIN ANYTHING DETRIMENTAL TO PLANT GROWTH. PULL MULCH 3" AWAY FROM BASE OF PLANT.
- LAYOUT FOR ALL PLANTING AREAS TO BE VERIFIED ON SITE BY LANDSCAPE ARCHITECT DUE TO VARYING FIELD CONDITIONS AND DENSITIES OF EXISTING VEGETATION.
- ALL PLANT MATERIAL SHALL CONFORM TO ANSI STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- TREES WILL BE STAKED ONLY IF A PLANT CANNOT STAND ALONE IN A MODERATE WIND PER PLANTING DETAILS.
- DO NOT DIG BEFORE LOCATING UTILITIES.
- ALL LANDSCAPING SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.
- PRIOR TO THE END OF THE WARRANTY PERIOD, THE LANDSCAPE WILL BE INSPECTED AND DEAD OR UNHEALTHY PLANTS WILL BE REQUIRED TO BE REPLACED WITH SAME SPECIES AND SIZES.

TREE RETENTION PLAN & NOTES

- THE SUBJECT PARCEL CONTAINS (3) TREES, EQUIVALENT TO 3.2 TREE UNITS. ALL (3) TREES ARE BEING RETAINED AND PROTECTED- REFER TO PLAN FOR LOCATIONS. SEE ATTACHED SPREADSHEET FOR SPECIES AND DBH MEASUREMENTS.
- THE APPLICANT IS NOT RESPONSIBLE FOR TREE RETENTION ANALYSIS WITHIN THE ADJACENT R.O.W. WHERE PARKING WILL OCCUR.
- TREE PROTECTION TO BE PROVIDED AS SHOWN ON PLAN L101 PER BMC 18.15.010 SECTION C.
- TREE PROTECTION AND FUTURE PLANTING AREA PROTECTION BOUNDARY:

LIGHTING PLAN & NOTES

- NO PARKING LOT LIGHTING OR SITE PEDESTRIAN LIGHTING IS BEING PROPOSED TO MINIMIZE LIGHT POLLUTION CONSISTENT WITH BMC ORDINANCE 2002-15.
- ARCHITECTURAL LIGHTING WILL BE PROVIDED AT INGRESS/EGRESS TO THE BUILDING- SEE PLAN L101 FOR APPROX. LOCATIONS. ▲



Client:
Friends of Fort Ward

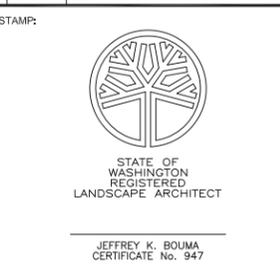
Owner:
Kitsap Sewer District 7
PO Box 11615
Bainbridge Island, WA 98110

PROJECT: **FORT WARD COMMUNITY CENTER**

PROJECT NUMBER: **2015-038**

SUBMITTAL: **SITE PLAN REVIEW 03/01/2016**

REVISIONS:		
NO.	DATE	DESCRIPTION
1	4/4/2016	REVISIONS PER CITY REVIEW COMMENTS



PRINCIPAL IN CHARGE:
DRAWN BY: **JP** DATE: **02/18/2016**
REVIEWED BY: **JB** DATE: **02/23/2016**

SHEET TITLE:
SCHEDULE & NOTES
SCALE: **1" = 10'-0"**

SHEET NUMBER:
L100

Tree Retention Analysis

Project: Fort Ward Community Hall
Performed by: Fischer Bouma Partnership
Date: 3/2/2016

REQUIRED TREE UNITS

PROJECT SITE: 0.19 Acres NOT including ROW to West
CURRENT TOTAL TREE UNITS: 3.4 TUs
CURRENT TREE UNITS PER ACRE: 17.9 TUs/AC
TREE UNITS PER ACRE REQUIRED: 17.9 TUs/AC per 18.15.010.G.4.a.ii for CUP in R Zoning
TREE UNITS REQUIRED: **3.4** Total

SUMMARY OF TREE UNITS RETAINED & NEW REQUIRED

TREE UNITS RETAINED (SEE DATA BELOW): **3.4**
NEW TREE UNITS REQUIRED (MIN.): 0.0
TOTAL TREE UNITS: **3.4**

TREE UNIT DESIGNATIONS PER CODE

Table 18.15.010-7: Tree Unit Conversion Table for Preserved Trees

DBH	Tree Units
3-5	1.0
6-10	1.2
11-12	1.4
13-15	2.0
16-18	3.2
19-20	3.8
21-23	4.6
24-26	6.2
27-28	7.0
29-30	7.8
30+	8.2

KEY:

 Retained
 Removed

DATA

Notes:

Apple/fruit trees on S side not within property
 Large lilacs not included- shrubs that are in poor condition with little canopy
 Tree off of back porch not included- dead
 Large plum on E side is off property
 Large pines and Diadora cedar on W side are off prperty

Tree No.	Species	Size (DBH)	TU Retained	TU Removed	Notes
001	Plum	7	1.2	0.0	
002	Pear	7	1.2	0.0	
003	Deciduous	0	0.0	0.0	Dead- not included
004	Ash	5	1.0	0.0	

	RETAINED	REMOVED	TOTAL
TOTAL TREE UNITS:	3.4	0.0	3.4

Fort Ward Community Hall
April 4, 2016
Provided by Fischer Bouma Partnership

SPR Landscape Plan Supplemental Information

This document is intended to supplement the Landscape drawings for Site Plan Review.

TREE & VEGETATION PROTECTION STRATEGIES

Trees to be retained as shown on Tree Retention Plan will be protected as required using methods as described in BIMC 18.15.010 (below copied out of current code).

4. Protection during Construction and Development.

a. Intent. The intent of these regulations is to provide the best protection for significant trees and tree stands, including protection for trees on adjacent properties.

b. Requirements.

i. No cutting of significant trees shall be allowed on a site until the tree retention and planting plans have been approved by the director.

ii. In order to preserve future ecological function, the applicant shall identify areas of prohibited disturbance, generally corresponding to the dripline or critical root zone (as identified by a consulting arborist) of the significant trees and/or tree canopy of tree stands to be retained, buffers, areas of existing vegetation to be maintained, future rain gardens, and future planting areas larger than 400 square feet (i.e. landscape islands in parking lots). The prohibited disturbance areas shall be reviewed and approved by the director as part of the land use permit review process.

iii. A temporary five-foot-high chain link fence with tubular steel poles or "T" posts shall delineate the area of prohibited disturbance defined in subsection C.4.b.ii of this section, unless the director has approved the use of a four-foot-high plastic net fence as an alternative. The fence shall be erected before construction starts and shall remain in place until construction has been completed, and shall at all times have affixed to it a sign indicating the protected area.

iv. No impervious surfaces, fill, excavation, vehicle operations, compaction, removal of native soil or storage of construction materials shall be permitted within the area defined by the required construction fencing. If avoiding construction and compaction in future planting areas is unavoidable, the landscape plan for the project shall include methods for aerating and/or augmenting compacted soil to prepare for new planting, pursuant to subsection H.2 of this section.

v. A rock well shall be constructed if the grade level around the tree is to be raised more than one foot. The inside diameter of the well shall be equal to the diameter of the dripline or critical root zone (as identified by a consulting arborist) of the tree or tree canopy of tree stands.

vi. The grade level shall not be lowered within the larger of (A) the dripline or critical root zone (as identified by a consulting arborist) of the tree, or the tree canopy of tree stands, or (B) the area recommended by a consulting arborist.

vii. Alternative protection methods may be used if recommended by a consulting arborist and determined by the director to provide equal or greater tree protection.

viii. Wherever this subsection C.4 allows or requires the involvement of a consulting arborist, that individual shall be selected from the city's list of current arborists certified by the American Society of Consulting Arborists and his or her services shall be paid for by the applicant.

VEGETATION CLEARING STRATEGIES

Clearing of vegetation will be controlled by Specification Section 31 10 00 Site Clearing to be provided by the Civil Engineer. Little vegetation is expected to be cleared on this project except for where parking is being constructed in the ROW. Some of the old unhealthy foundation planting around the existing structure may be removed.

Vegetation will be cleared by typical mechanical means in areas proposed for development. The contractor will be required to protect and preserve trees and vegetation which are outside the clearing limits or indicated to be protected as indicated on the plans. Trees, underbrush, and all vegetation indicated to be cleared will be done in a manner to protect adjacent property and items on-site to remain.

TOPSOIL PROTECTION & RE-USE STRATEGIES

Topsoil protection and re-use will be controlled by Specification Sections 31 10 00 Site Clearing to be provided by the Civil Engineer and Specification Section 32 29 00 Landscape Planting to be provided by the landscape architect, respectively during construction documentation.

Topsoil to remain in place will be protected through vegetation protection strategies and temporary erosion control measures implemented during construction. Native topsoil in areas to be developed will be removed to its full depth and stockpiled on site. All stockpiled topsoil will be covered. Stockpiles will be constructed in accordance with FWRC and WAC requirements. Side slopes will be appropriate for the material to prevent sloughing, erosion, or instability. Stockpiled soil should be screened so that it is free of clay clumps, rubble, cobbles, rubble or any other material that may limit plant growth. One hundred percent of the planting soil should pass through a ¾" sieve. See the following section for re-use strategies of amended (if necessary) native topsoil that has been stockpiled.

NATIVE SOIL AMMENDMENT STRATEGIES

Native soil amendment strategy will be controlled by Specification Section 32 29 00 Landscape Planting.

Native soil in areas to be developed will be stripped and stockpiled per the section above. On-site soils fall in two categories: 1) those stripped and stockpiled and 2) those that were undisturbed (where final grades match existing grades) and that will have enhancement plantings added to them. Both stockpiled and undisturbed native topsoil will then be tested to determine the necessary amendments. Based upon the test results, state recommendations for soil treatments and soil amendments are to be incorporated to produce satisfactory planting soils suitable for health, viable plants. Organic content for the soil shall also be tested and the soil amended so that it is 3-8% by weight per LOI.

Prior to placing a given depth of amended topsoil, the subgrade will be disturbed/loosened to a determined depth by scarification, discing, or ripping to enable a rototiller to fully incorporate a compost amendment. The amended topsoil will then be placed on the prepared subgrade to a depth determined by analysis of the existing soils on site. Due to the typical mineral composition of the glacial till soils in this region, excavated areas to be planted with trees will typically require a 12" to 18" depth of amended topsoil placed. Areas of shrub, groundcover, and turf planting will require less of a depth of amended topsoil placement.

PLANTING TIMES

Planting time is will be controlled by Specification Section 32 29 00 Landscape Planting.

Planting should be performed between September 1 and May 31. Planting should not occur outside of this window or when the temperature is below 32 degrees F or above 80 degrees F. Planting should not occur when the soil is completely saturated or when the wind velocity is greater than 25 mph.

IRRIGATION

Irrigation will unlikely be installed for the project due to budgetary constraints. Establishment of vegetation will need to occur through manual watering. If installed, irrigation will be controlled by Specification Section 32 81 00 Landscape Irrigation.

Memorandum

Fort Ward Community Hall Tree Valuation

A tree evaluation was performed on 3/1/2016 for the living trees on the Fort Ward Community Hall Project Site that are proposed to be retained. The three trees identified are also shown on the Landscape Plan and Tree Retention worksheet submitted for Site Plan Review. The valuation was performed per the “Trunk Formula Method” as found in the Guide for Plant Appraisal, 9th Addition as required by Bainbridge Island Municipal Code Section 18.15.010.G.3.iii. The following worksheets provide the valuation of each of the (3) trees proposed to be retained.

Trunk Formula Method

Case # N/A Property FT WARD COMMUNITY HALL Date 3/1/2014
 Appraiser FISCHER BOUMA PARTNERSHIP

Field Observations

1. Species FLOWERING PEAR
2. Condition 31 %
3. Trunk Circumference _____ in./cm Diameter 7 in./cm
4. Location % = [Site 70% + Contribution 85% + Placement 70%]
 $\div 3 = \underline{75}$ %

Regional Plant Appraisal Committee and/or Appraiser-Developed or -Modified Information

5. Species rating 80 %
6. Replacement Tree Size (diameter) 2 in./cm
 (Trunk Area) 3 in²/cm² TA_R
7. Replacement Tree Cost \$ 156
 (see Regional Information to use Cost selected)
8. Installation Cost \$ 312
9. Installed Tree Cost (#7 + #8) \$ 468
10. Unit Tree Cost \$ 156 per in²/cm²
 (see Regional Information to use Cost selected)

Calculations by Appraiser using Field and Regional Information

11. Appraised Trunk Area:
 (TA_A or ATA_A; use Tables 4.4-4.7)
 or c^2 (#3) _____ $\times 0.08$
 or d^2 (#3) 49 $\times 0.785$ = 38 in²/cm²
12. Appraised Tree Trunk Increase (TA_{INCR}) =
 TA_A or ATA_A 38 in²/cm² (#11) - TA_R 3 in²/cm² (#6) = 35 in²/cm²
13. Basic Tree Cost = TA_{INCR} (#12) 35 in²/cm² \times Unit Tree Cost (#10) \$ 156
 per in²/cm² + Installed Tree Cost (#9) \$ 468 = \$ 5928
14. Appraised Value = Basic Tree Cost (#13) \$ 5928 \times Species rating
 (#5) 80% \times Condition (#2) 31% \times Location (#4) 75% = \$ 1103
15. If the Appraised Value is \$5,000 or more, round it to the nearest \$100; if it
 is less, round to the nearest \$10.
16. Appraised Value = (#14) \$ 1100

Items 5 through 10 are determined by the Regional Plant Appraisal Committee. The Wholesale Replacement Tree Cost, the Retail Replacement Tree Cost, or the Installed Tree Cost (#9) divided by the Replacement Tree Size (#6) can be used for the Unit Tree Cost (#10), or it can be set by the Regional Plant Appraisal Committee.

Trunk Formula Method

Case # N/A Property FT WARD COMMUNITY HALL Date 3/1/2016
 Appraiser FISCHER BOUMA PARTNERSHIP

Field Observations

1. Species FLOWERING PLUM
2. Condition 31 %
3. Trunk Circumference _____ in./cm Diameter 7 in./cm
4. Location % = [Site 70% + Contribution 85% + Placement 70%]
 $\div 3 = \underline{75}$ %

Regional Plant Appraisal Committee and/or Appraiser-Developed or -Modified Information

5. Species rating 60 %
6. Replacement Tree Size (diameter) 2 in./cm
 (Trunk Area) 3 in²/cm² TA_R
7. Replacement Tree Cost \$ 123
 (see Regional Information to use Cost selected)
8. Installation Cost \$ 246
9. Installed Tree Cost (#7 + #8) \$ 369
10. Unit Tree Cost \$ 123 per in²/cm²
 (see Regional Information to use Cost selected)

Calculations by Appraiser using Field and Regional Information

11. Appraised Trunk Area:
 (TA_A or ATA_A; use Tables 4.4-4.7)
 or c^2 (#3) _____ $\times 0.08$
 or d^2 (#3) 49 $\times 0.785$ = 38 in²/cm²
12. Appraised Tree Trunk Increase (TA_{INCR}) =
 TA_A or ATA_A 38 in²/cm² (#11) - TA_R 3 in²/cm² (#6) = 35 in²/cm²
13. Basic Tree Cost = TA_{INCR} (#12) 35 in²/cm² \times Unit Tree Cost (#10) \$ 123
 per in²/cm² + Installed Tree Cost (#9) \$ 369 = \$ 4709
14. Appraised Value = Basic Tree Cost (#13) \$ 4709 \times Species rating
 (#5) 60% \times Condition (#2) 31% \times Location (#4) 75% = \$ 656
15. If the Appraised Value is \$5,000 or more, round it to the nearest \$100; if it
 is less, round to the nearest \$10.
16. Appraised Value = (#14) \$ 660

Items 5 through 10 are determined by the Regional Plant Appraisal Committee. The Wholesale Replacement Tree Cost, the Retail Replacement Tree Cost, or the Installed Tree Cost (#9) divided by the Replacement Tree Size (#6) can be used for the Unit Tree Cost (#10), or it can be set by the Regional Plant Appraisal Committee.

Trunk Formula Method

Case # N/A Property TOWNARD COMMUNITY HALL Date 3/1/2016
 Appraiser FISCHER BOUMA PARTNERSHIP

Field Observations

1. Species ASH
2. Condition 38 %
3. Trunk Circumference _____ in./cm Diameter 5 (in./cm)
4. Location % = [Site 70% + Contribution 85% + Placement 70%]
 $\div 3 = \underline{75}$ %

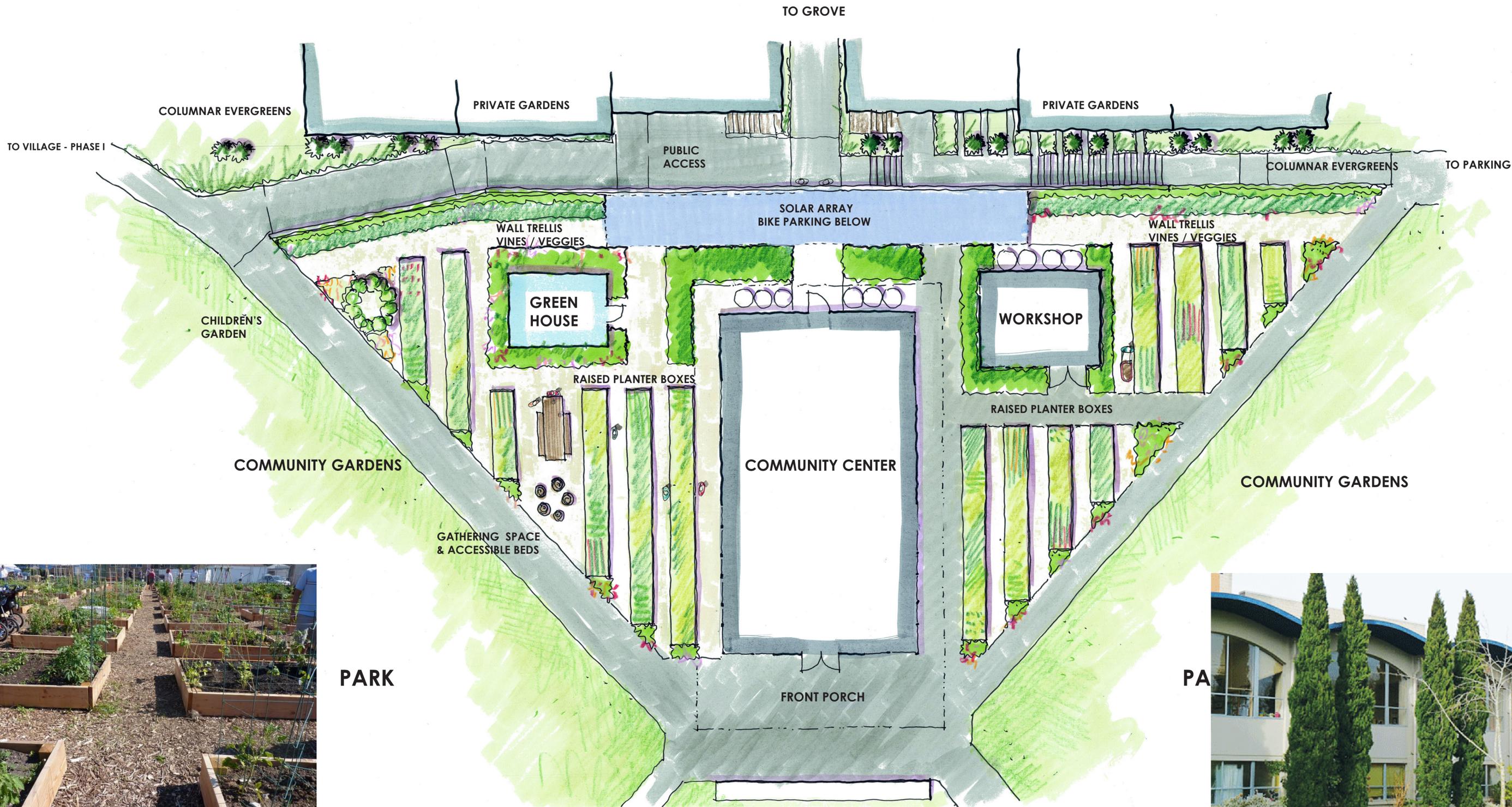
Regional Plant Appraisal Committee and/or Appraiser-Developed or -Modified Information

5. Species rating 70 %
6. Replacement Tree Size (diameter) 2 (in./cm)
 (Trunk Area) 3 (in²/cm²) TA_R
7. Replacement Tree Cost \$ 120
 (see Regional Information to use Cost selected)
8. Installation Cost \$ 240
9. Installed Tree Cost (#7 + #8) \$ 360
10. Unit Tree Cost \$ 120 per in²/cm²
 (see Regional Information to use Cost selected)

Calculations by Appraiser using Field and Regional Information

11. Appraised Trunk Area:
 (TA_A or ATA_A; use Tables 4.4-4.7)
 or c^2 (#3) _____ $\times 0.08$
 or d^2 (#3) 25 $\times 0.785$ = 19.6 (in²/cm²)
12. Appraised Tree Trunk Increase (TA_{INCR}) =
 TA_A or ATA_A 19.6 (in²/cm²) (#11) - TA_R 3 in²/cm² (#6) = 16.6 in²/cm²
13. Basic Tree Cost = TA_{INCR} (#12) 16.6 in²/cm² \times Unit Tree Cost (#10) \$ 120
 per in²/cm² + Installed Tree Cost (#9) \$ 360 = \$ 2352
14. Appraised Value = Basic Tree Cost (#13) \$ 2352 \times Species rating
 (#5) 70% \times Condition (#2) 38% \times Location (#4) 75% = \$ 469
15. If the Appraised Value is \$5,000 or more, round it to the nearest \$100; if it
 is less, round to the nearest \$10.
16. Appraised Value = (#14) \$ 470

Items 5 through 10 are determined by the Regional Plant Appraisal Committee. The Wholesale Replacement Tree Cost, the Retail Replacement Tree Cost, or the Installed Tree Cost (#9) divided by the Replacement Tree Size (#6) can be used for the Unit Tree Cost (#10), or it can be set by the Regional Plant Appraisal Committee.



RAISED PLANTER BOXES



PA

PHASE 2
COMMUNITY CENTER LANDSCAPE PLAN





GROVE

PUBLIC ACCESS

PRIVATE GARDENS

PRIVATE GARDENS

PRIVATE GARDENS

PRIVATE GARDENS

TO VILLAGE - PHASE I

CHILDREN'S GARDEN

RAISED PLANTER BOXES

GREEN HOUSE

GATHERING SPACE & ACCESSIBLE BEDS

WALL TRELLIS VINES / VEGGIES

COMMUNITY CENTER

FRONT PORCH

WORKSHOP

RAISED PLANTER BOXES
COLUMNAR EVERGREENS

WALL TRELLIS VINES / VEGGIES

TO PARKING



ACCESSIBLE PLANTER BOXES

COMMUNITY GARDENS

PARK

COMMUNITY GARDENS



CHILDREN'S GARDEN

PHASE 2

NTS'

COMMUNITY GARDEN ELEVATION



|| GROW COMMUNITY CENTER

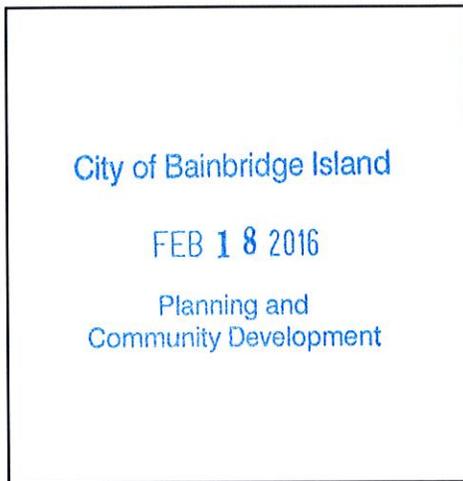
3.30.16



CITY OF BAINBRIDGE ISLAND
 Department of Planning & Community Development
 280 Madison Avenue North, Bainbridge Island, WA 98110
 Phone: 206-842-2552 Email: pcd@bainbridgewa.gov
 Website: www.bainbridgewa.gov
 Portal: <https://ci-bainbridgeisland-wa.smartgovcommunity.com/portal>

APPLICATION - PAGE 1

DATE STAMP



DATE SUBMITTED 02/18/2016		PROJECT NUMBER PLN50231 SPRA
PROJECT NAME WINTERGREEN MEDICAL BUILDING		
PROJECT TYPE Site Plan Review Amendment		
PROJECT ADDRESS OR ACCESS STREET Wintergreen Lane		
TAX PARCEL NUMBER(S) 232502-3-086-2009		
REVISIONS RECEIVED:		
FEE HISTORY	AMOUNT	PAID
Major Adjustment	\$2,160.00	\$2,160.00

PROJECT DESCRIPTION

Modify previous SPR approval for a 20,000 sf medical clinic for proposed 30,000 sf clinic with 31 additional spaces. Also the footprint of building 6 of the Visconsi Site Plan will be reduced from 7,200 sf to 4,800 sf.

PEOPLE ASSOCIATED WITH CASE

COBI PROJECT MANAGER JOSH MACHEN -- PHONE: 206-780-3765 E-MAIL: jmachen@bainbridgewa.gov	
OWNER VWA-BAINBRIDGE ISLAND LLC, Shawn Jurisch, 30050 Chagrin Boulevard, Suite 350, Pepper Pike, OH 44124-5700 Phone: 216-464-5550 ex 203 E-MAIL: sjurisch@visconsi.com	
CONTACT CHARLES WENZLAU, Wenzlau Architects, 490 Madison Avenue North, Suite 105, Bainbridge Island, WA 98110 Phone: 206-780-6882 E-MAIL: Charlie@wenzlauarchitects.com	

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

FORM MUST BE COMPLETED IN INK, PREFERABLY BLUE.
PENCIL WILL NOT BE ACCEPTED.



<p>DATE STAMP FOR CITY USE ONLY</p> <p style="color: blue;">City of Bainbridge Island</p> <p style="color: blue; font-size: 1.2em;">FEB 18 2016</p> <p style="color: blue;">Planning and Community Development</p>	<p style="text-align: center;"><u>TO BE FILLED OUT BY APPLICANT</u></p> <p>PROJECT NAME: WINTERGREEN MEDICAL BLDG</p> <p>TAX ASSESSOR'S NUMBER: <u>AP#232502-3-086-2009</u></p> <hr/> <p>PROJECT STREET ADDRESS OR ACCESS STREET: WINTERGREEN LANE NE</p> <p>ENVIRONMENTAL CHECKLIST SUBMITTED: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</p> <hr/> <p style="text-align: center;"><u>FOR CITY USE ONLY</u></p> <p>FILE NUMBER: <u>PLN50231 STRA</u></p> <p>PROJECT NUMBER: <u>50231</u></p> <p>DATE RECEIVED: <u>2-18-2016</u></p> <p>APPLICATION FEE: <u>\$2160.00</u></p> <p>TREASURER'S RECEIPT NUMBER: <u>16-00167</u></p>
<p>SUBMITTAL REQUIREMENTS</p>	
APPLICATION	<i>One original (which must contain an original signature) and six copies (eleven if commercial) must be provided. Whenever possible, originals must be signed in blue. Please identify the original document.</i>
SUPPORTING DOCUMENTS	<i>One original (which must contain an original signature), where applicable, and six copies (eleven if commercial) (if an original is not applicable, seven copies must be provided).</i>
FULL-SIZE DRAWINGS	<i>Seven copies (twelve if commercial) of the required drawings must be provided. Drawings must be folded and 18" x 24" in size. No construction drawings or other sized drawings will be accepted unless specifically requested.</i>
REDUCED DRAWINGS	<i>Two copies of the drawings reduced to 11" x 17" must be provided.</i>
SUBMITTING APPLICATIONS	<i>Applications must be submitted in person by either the owner or the owner's designated agent. Should an agent submit the application, a notarized Owner/Agent Agreement must accompany the application. If a planner has been assigned to your project, an appointment for submittal must be made with that planner.</i>
FEES	<i>Please call the Department of Planning & Community Development for submittal fee information.</i>
ATTACHED SUBMITTAL CHECKLIST	<i>Please refer to attached Submittal Checklist for further information. NOTE: when submitting this application, please do not copy or include the Submittal Checklist sheets attached to the back of this application.</i>
<p>APPLICATIONS WILL NOT BE ACCEPTED unless these basic requirements are met and the submittal packet is deemed counter complete.</p>	

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@ci.bainbridge-isl.wa.us
www.ci.bainbridge-isl.wa.us

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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A. GENERAL INFORMATION

1. Name of property owner: VWA-BAINBRIDGE ISLAND, LLC
Address: 30050 CHAGRIN BLVD. STE. 360, PEPPER PIKE, OH
Phone: 216-464-5550 Fax: _____
E-mail: _____

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

Name of property owner: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

If the owner(s) of record as shown by the county assessor's office is (are) not the agent, the owner's (owners') signed and notarized authorization(s) must accompany this application.

2. Authorized agent: WENZLAU ARCHITECTS
Address: 490 MADISON AVE. NORTH #105, BAINBRIDGE ISLAND, WA 98110
Phone: 260-780-6882 Fax: _____
E-mail: charlie@wenzlauarchitects.com

3. Person responsible for payment: _____
Address: _____
Phone: _____ Fax: _____
E-mail: _____

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4. Project contact: _____
 Address: _____
 Phone: _____ Fax: _____
 E-mail: _____

5. Name of land surveyor: _____
 Address: _____
 Phone: _____ Fax: _____
 E-mail: _____

6. Planning department personnel familiar with site: _____

7. Description of proposal: Proposal to modify previous SPR approval for
20,000sf medical clinic for proposed 30,000sf clinic with 31 additional spaces.
The footprint of building 6 will be reduced from 7,200sf to 4,800sf.

8. Driving directions to site: NE Corner of High School Road and Highway 305

9. Please give the following existing parcel information:

Assessor's Parcel Number	Parcel Owner	*Lot Area
232502-3-086-2009		1.67AC (Pre-BLA)
Use additional sheet if necessary	Total of all parcels:	1.67AC

** As defined in Bainbridge Island Municipal Code 18.06.630*

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10. Legal description (or attach): See Attached

11. Current comprehensive plan, zoning and shoreline designations and use of subject parcel(s):

Lot Number	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
Lot 086	HS-2	HS-2	NA	Vacant
Lot				
Lot				
Lot				

12. Current comprehensive plan, zoning and shoreline designations and use of adjacent properties:

Property	Comp Plan Designation	Zoning Designation	Shoreline Designation	Current Use
North	HS-2	HS-2	NA	Probuild
South	HS-2	HS-2	NA	Kitsap Bank
East	R-8, R-2.9	R-8, R-2.9	NA	Stonecrest, vacant
West	HWY 305			

13. Common name of adjacent water area or wetlands area: _____

14. Does the site contain an environmentally sensitive area as defined in Critical Areas Ordinance (*Bainbridge Island Municipal Code Chapter 16.20*)? yes no unknown

If yes, check as appropriate:

<input type="checkbox"/> wetland*	<input type="checkbox"/> geologically hazardous area**
<input checked="" type="checkbox"/> wetland buffer*	<input type="checkbox"/> zone of influence**
<input type="checkbox"/> stream*	<input type="checkbox"/> slope buffer**
<input type="checkbox"/> stream buffer*	<input type="checkbox"/> fish and wildlife habitat area

* If your site includes a wetland or wetland buffer, a wetland report is required with your application.

**If your site includes a geologically hazardous area or is within the zone of influence as defined in *Bainbridge Island Municipal Code 16.20*, a geotechnical report is required with your application.

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15. Are there underlying/overlying agreements on the property? yes no unknown
 If yes, check as appropriate and provide a copy of the decision document:

<input type="checkbox"/> CUP Conditional Use Permit	<input checked="" type="checkbox"/> SPR Site Plan Review
<input type="checkbox"/> MPD Master Planned Development	<input type="checkbox"/> SPT Short Plat
<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SSDP Shoreline Permit
<input type="checkbox"/> REZ Contract Rezone	<input type="checkbox"/> SUB Prior Subdivision
<input type="checkbox"/> RUE Reasonable Use Exception	<input type="checkbox"/> VAR Zoning Variance
	<input type="checkbox"/> Other: _____

Under which jurisdiction was the approval given?

City of Bainbridge Island Kitsap County

Approval date: March 17, 2015

16. Is there any other information which is pertinent to this project? yes no

If yes, please explain: _____

B. TECHNICAL INFORMATION

1. Name of water purveyor: City of Bainbridge Island

If a private well, what class? _____

2. Type of sewage disposal: on-site septic off-site septic sewer
 Sewer district: City of Bainbridge Island Sewer District 7

3. General description of the existing terrain: Flat

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CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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12. Square footage of all spaces: retail: 30,000sf office: storage: residential: other:

13. Number of stories proposed: 2 stories

14. Square feet per story: (1) 15,000sf (2) 15,000sf (3)

15. Setback requirements: north: 0' (10' proposed) east: 0' (115' proposed) south: 0' (195' proposed) west: 10' (60'-195' proposed)

16. Number of parking stalls required: 120 stalls (Medical Clinic)

17. Number of parking stalls proposed: 120 stalls (Medical Clinic)

18. Amount of square footage of proposed paved areas: 53,525sf

19. Square footage of building area: 30,000sf

20. Percent of site to be covered by impervious surfaces: 57.2% (post-BLA) % (If the proposal results in more than 1,000 square feet of additional impervious surface, a drainage plan shall be required.)

21. Percentage of site to be covered by landscaping: 12%

22. Percentage of parking area to be covered by landscaping: 9%

23. Percentage of site to remain undeveloped: 31%

24. Is the applicant proposing any terms, conditions, covenants and agreements or other documents regarding the intended development: (If yes, attach copies) [] yes X no [] unknown

Project is not phased.

CITY OF BAINBRIDGE ISLAND

SITE PLAN AND DESIGN REVIEW APPLICATION

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PENCIL WILL NOT BE ACCEPTED.



25. List any other permits for this project from state, federal or local governmental agencies for which you have applied or will apply, including the name of the issuing agency, whether the permit has been applied for, and if so, the date the application was approved or denied, and the application or permit number:

Site Plan Review Major Amendment (COBI), Building Permit (COBI), BLA (COBI)

26. Will the completed project result in 800 or more square feet of impervious surface (building footprint + driveways + parking)? yes no unknown

27. Will the project result in clearing more than six significant trees or 2,500 square feet of ground? yes no unknown

28. Do storm water systems exist on the site? yes no unknown

If yes, were they constructed after 1982? yes no unknown

If yes, what type of storm water system exists on the site?
 infiltration open ditching closed conveyance detention

29. Will the completed project result in excavating of or filling in:
 less than 50 cubic yards. more than 50 cubic yards but less than 100 cubic yards. more than 100 cubic yards.

I hereby certify that I have read this application and know the same to be true and correct.

Charles Wenzlau

2/17/16

*Signature of owner or authorized agent

Date

CHARLES WENZLAU

Please Print

**If signatory is not the owner of record, the attached "Owner/Agent Agreement" must be signed and notarized.*

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
280 MADISON AVENUE NORTH • BAINBRIDGE ISLAND, WA • 98110-1812
PHONE: (206) 842-2552 • FAX: (206) 780-0955 • EMAIL: pcd@ci.bainbridge-isl.wa.us
www.ci.bainbridge-isl.wa.us

February 17, 2016

City of Bainbridge Island
Dept. Of Planning and Community Development
280 Madison Avenue North
Bainbridge Island, WA 98110-2824

RE: WINTERGREEN MEDICAL BUILDING
SITE PLAN REVIEW – MAJOR AMENDMENT
PROJECT DESCRIPTION

The following project description is being submitted as Major Site Plan Review amendment for the medical facility located within the Wintergreen Walk shopping center in Bainbridge Island, Washington.

EXISTING CONDITIONS

The site is located on Wintergreen Lane NE, on the north side of High School Road between Highway 305 and Polly's Lane. The proposed use is a modification of the approved site master plan. The approved master plan included a medical clinic located in the NE corner of the site.

At present, the master plan has two buildings completed; Walgreens and Key Bank. The site is served by the completed access lane (Wintergreen Lane) which also serves Pro-build. The overall site is comprised of 5 separate parcels.

The surrounding uses include ProBuild to the north, residential (Stonecrest) and vacant land (wetland) to the east, Highway 305 to the west, and commercial (Kitsap Bank) to the south. The 2.75 acre lot for the medical use has been cleared and graded per site plan approval. There is an existing wetland off site to the east. The project site is within the Mixed-use Town Center HS-2 zone. Health care facilities are a permitted use.

PROPOSED MODIFICATION

The proposed project is a modification of the approved master plan. The approved master plan included a 20,000sf medical building. The proposed medical building is 30,000sf. The building has been enlarged to accommodate medical programmatic needs. The footprint of Building 6 has been reduced to 4,800sf from the 7,200sf approved under the SPR master plan. The building was reduced in size to allow for the expanded parking and to maintain number of required parking stalls.

The proposed concept will require a boundary line adjustment. The increased building size will require 31 additional parking spaces. The total number of parking spaces provided for the site master plan meets parking required based on ratio of 4 spaces per 1000sf.

The proposed building has been shifted to the north edge of the site. The proposed location maintains a compact building footprint, improving aspect ratio of exterior, and accommodates access for the medical imaging truck. The parking lot to the south side of the building has been re-designed to accommodate additional stalls and to provide access for a medical imaging truck. The retention pond to the west has been eliminated to allow for additional parking. The storm water system will be re-designed to include the capacity provided by the storm pond. The parking behind buildings 6 and 7 will be completed prior to occupancy to meet parking requirements and allow for better circulation for the medical building.

The "slip lane" which parallels the main site access has been altered to better serve the medical parking area. The pedestrian route from the retail plaza to the medical building is located between Wintergreen Lane and the parking area. This enhanced pedestrian zone will help provide screening for the parking area and provide pedestrian amenities along the connection.

ARCHITECTURAL DESIGN

The proposed building will be similar in concept to the previously approved medical building. The main façade which faces south is visually split into two masses with a large central glass area. The building design incorporates pitched roofs and a covered entry roof. Building materials are consistent with other buildings in the project site. The exterior materials include; concrete masonry units, vertical metal siding, cement board infill panels, asphalt/metal at pitched roofs, storefront windows, exposed wood braces, sunscreens soffits to maintain a rural utilitarian spirit.



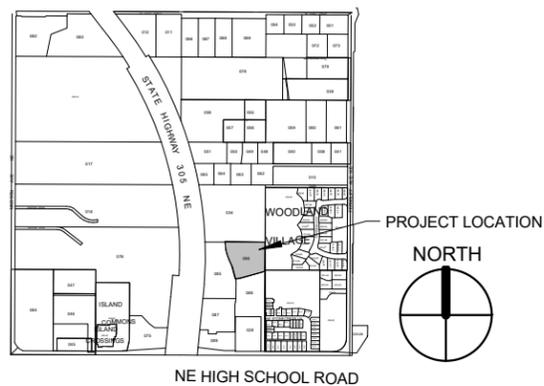
WINTERGREEN WALK CLINIC

PROJECT DIRECTORY

BUILDING OWNER: VISCONSI COMPANIES LTD.
 30050 CHAGRIN BLVD., SUITE 360
 PEPPER PIKE, OH 44124-5704
 TEL: (216) 464-5550
 EMAIL: SJURISCH@VISCONSI.COM

ARCHITECT: WENZLAU ARCHITECTS
 CHARLIE WENZLAU
 490 MADISON AVENUE NORTH #105
 BAINBRIDGE ISLAND, WA 98110
 TEL: (206) 780.6882 FAX: (206) 780.9288
 CHARLIE@WENZLAUARCHITECTS.COM

VICINITY MAP



LEGAL DESCRIPTION

23252E
 RESULTANT PARCEL B OF BOUNDARY LINE ADJUSTMENT RECORDED UNDER AUDITOR'S FILE NO. 201406180124, AND AS DEPICTED ON SURVEY RECORDED UNDER AUDITOR'S FILE NO. 201406180125, IN VOLUME 79 OF SURVEYS, PAGE 98, RECORDS OF KITSAP COUNTY, WASHINGTON, BEING A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SECTION 23, TOWNSHIP 25 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY, WASHINGTON.

PROJECT INFORMATION

TAX PARCEL:	232502-3-086-2009	
ADDRESS:	WINTERGREEN WALK, BAINBRIDGE ISLAND, WA 91108	
ZONING:	HS-2	
SURROUNDING ZONING:	SOUTH - HS-2 EAST - R-2.9, R-8 NORTH - HS-2 WEST - R-8	
SETBACKS:	SETBACKS ACCORDING TO TABLE 18.12.02-3 HSR I AND II OF BIMC	
	PROPOSED:	REQUIRED:
FRONT	24 FT	10 FT MAX
REAR	111 FT	0 FT
SIDE	10 FT	0 FT
ALLOWABLE FAR	.30 FAR (35,937SF) POST-BLA	
PROPOSED PROGRAM	.25 FAR (30,000SF) POST-BLA	
REQUIRED PARKING STALL/SF	4 STALLS/1000SF	
PROPOSED PARKING	120 STALLS	

DRAWING INDEX

A 00	COVER
A 1	AERIAL PHOTOS
A 2.1	APPROVED MASTER PLAN
A 2.2	REVISED MASTER PLAN
A 3	SITE PLAN
A 4.1	FLOOR PLAN 1
A 4.2	FLOOR PLAN 2
A 5.1	BUILDING ELEVATIONS
A 5.2	BUILDING ELEVATIONS
A 6	BUILDING SECTION
A 7	ROOF PLAN
A 8	REVISED BLDG 6
C1	GRADING PLAN
C2	GRADING SECTIONS
C3	UTILITY PLAN SPR
C4	BUFFER PLAN
L000	ILLUSTRATIVE SITE PLAN
L001	TREE RETENTION PLAN - WEST
L002	TREE RETENTION PLAN - EAST
L100A	LANDSCAPE SCHEDULE & NOTES
L100B	LANDSCAPE SCHEDULE & NOTES
L101	PLANTING PLAN WEST
L102	PLANTING PLAN EAST
L103	PLANTING PLAN SOUTH
L200	LIGHTING PLAN
L300	LANDSCAPE DETAILS

SPR APPLICATION

PROJECT	1518	
DATE	02/17/2016	
NO.	DESCRIPTION	DATE

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COVER

A 00



AERIAL CONTEXT PHOTO



WINTERGREEN LANE
LOOKING EAST



WINTERGREEN LANE
LOOKING SOUTH



WINTERGREEN LANE
LOOKING NORTH



WINTERGREEN LANE
LOOKING WEST



WENZLAU ARCHITECTS
490 MADISON AVE N., SUITE 105
BAINBRIDGE ISLAND, WA 98110
WWW.WENZLAUARCHITECTS.COM
206.780.6882

WINTERGREEN
MEDICAL BUILDING
WINTERGREEN LANE, BAINBRIDGE ISLAND,
WA 91108

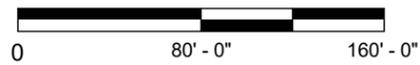
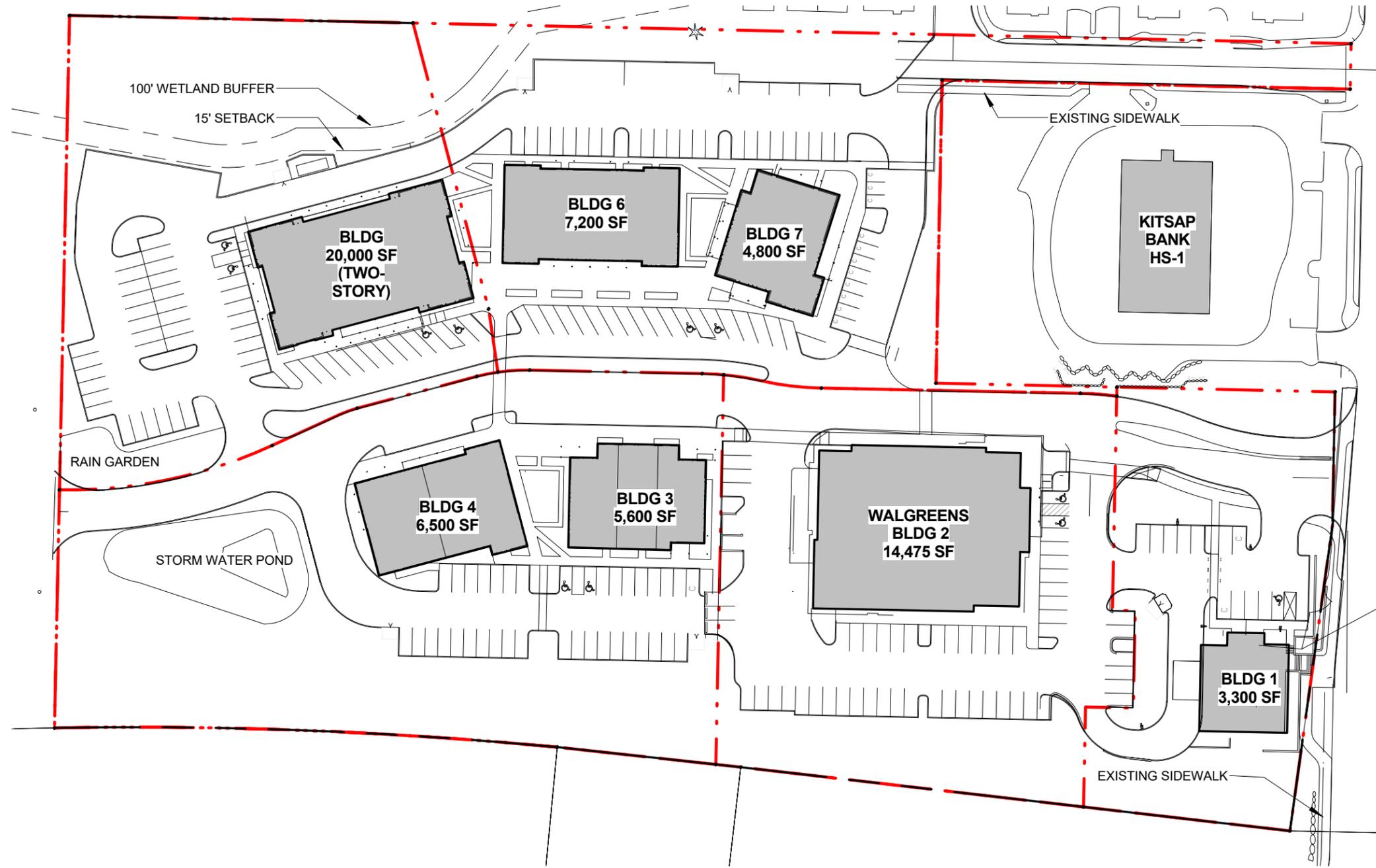
OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

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AERIAL PHOTOS



1 PREVIOUSLY APPROVED MASTER PLAN
1" = 80'-0"

**WINTERGREEN
MEDICAL BUILDING**
WINTERGREEN LANE, BAINBRIDGE ISLAND,
WA 91108
OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

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APPROVED MASTER PLAN

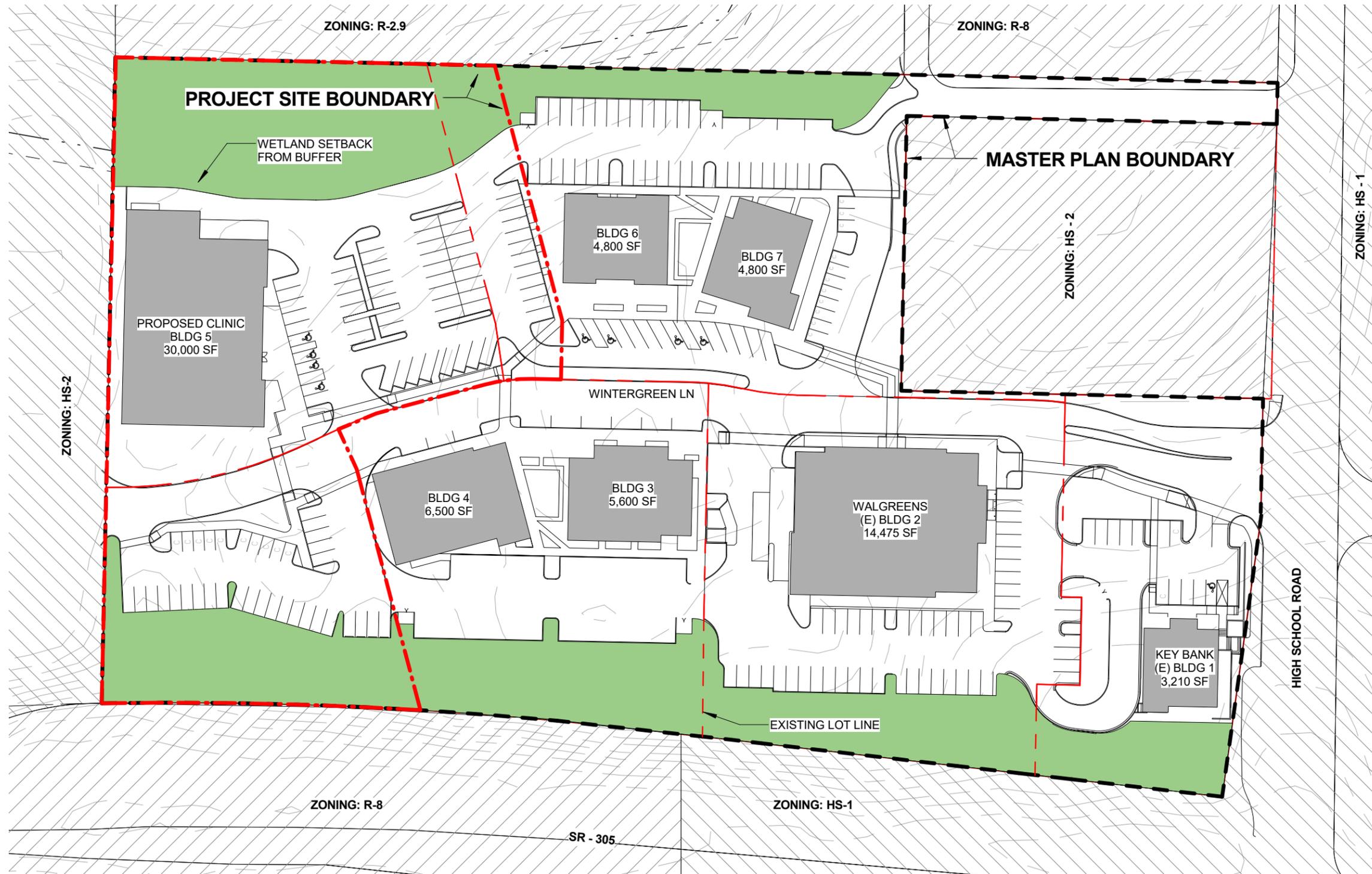
A 2.1

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1

REVISED MASTER PLAN

1" = 80'-0"



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 206.780.6882

WINTERGREEN MEDICAL BUILDING

WINTERGREEN LANE, BAINBRIDGE ISLAND, WA 91108

OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

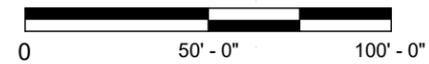
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REVISED MASTER PLAN

A 2.2

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1 LOT #5 SITE MAP
1" = 50'-0"

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**WINTERGREEN
MEDICAL BUILDING**
WINTERGREEN LANE, BAINBRIDGE ISLAND,
WA 91108

OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

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SITE PLAN

A 3

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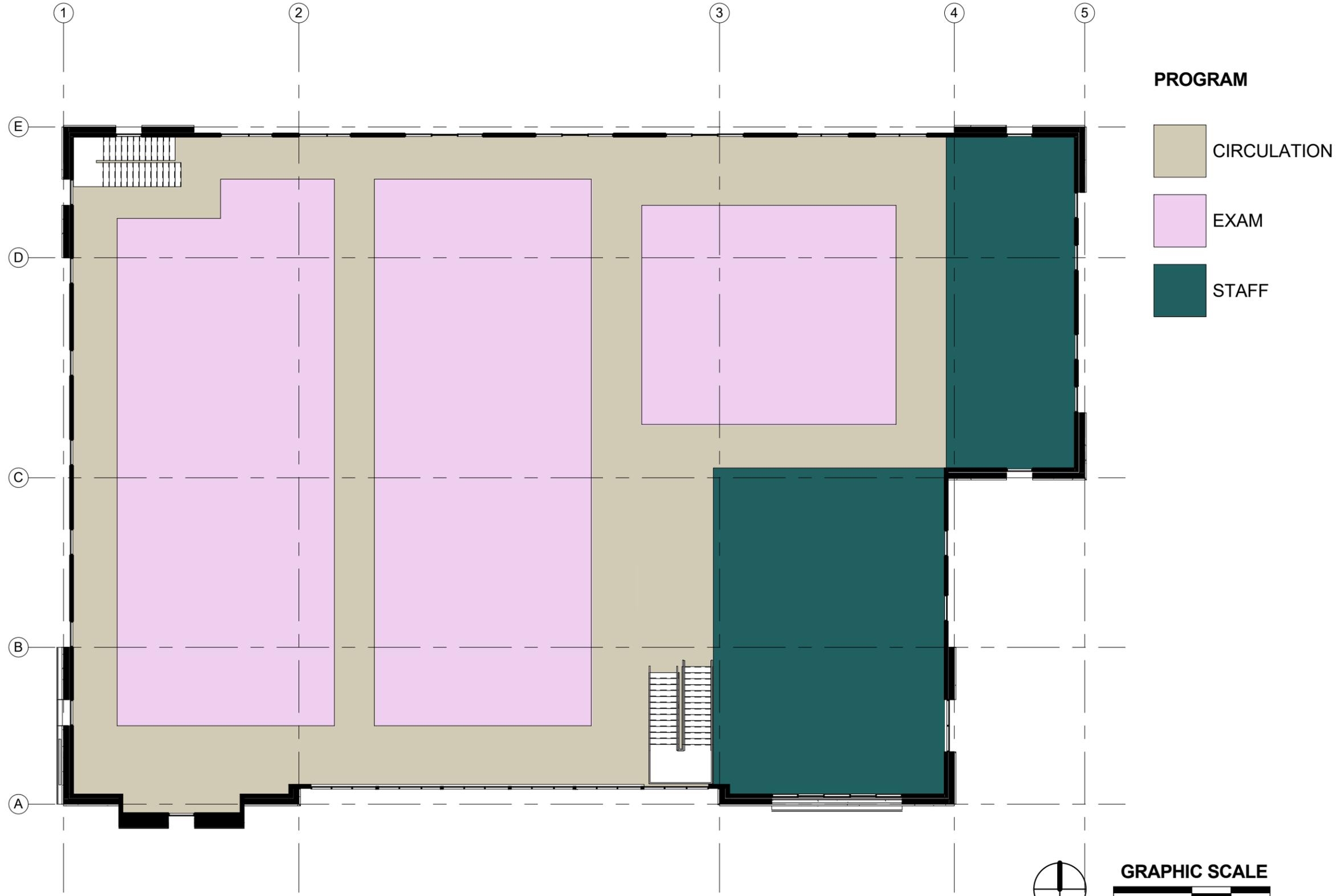
1 PRELIMINARY FLOOR PLAN
1/16" = 1'-0"

SPR APPLICATION

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PROGRAM

- CIRCULATION
- EXAM
- STAFF

1 PRELIMINARY SECOND FLOOR PLAN
1/16" = 1'-0"

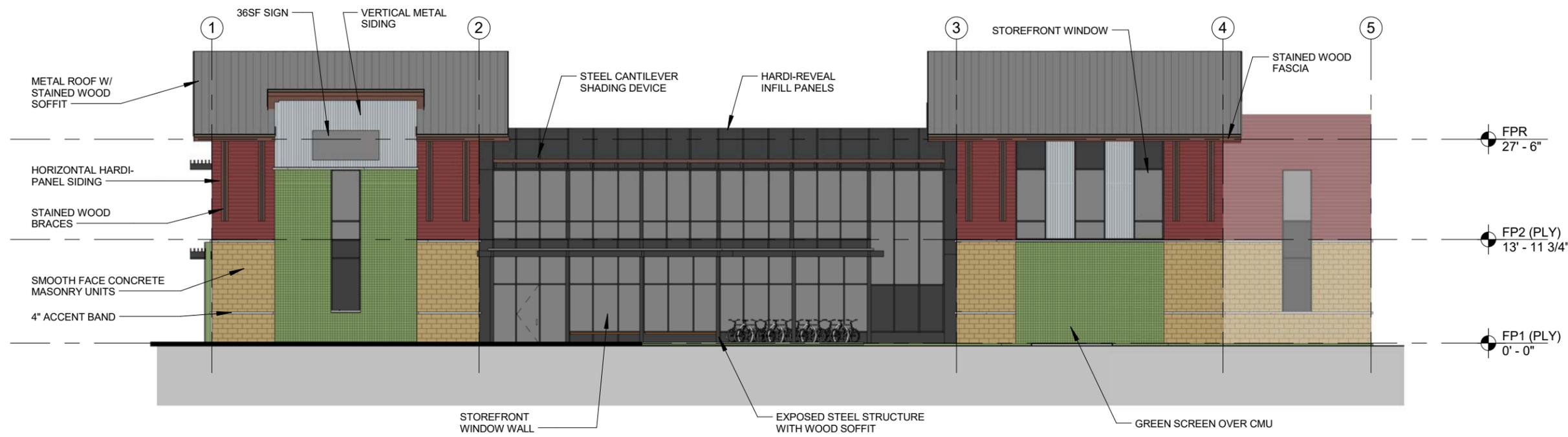
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 BAINBRIDGE ISLAND, WA 98110
 WWW.WENZLAUARCHITECTS.COM
 206.780.6882

**WINTERGREEN
 MEDICAL BUILDING**
 WINTERGREEN WALK
 BAINBRIDGE ISLAND, WA 98110
 OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

PROJECT	1518
DATE	02/17/2016
NO.	DESCRIPTION DATE

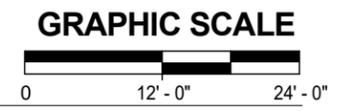
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1 SOUTH ELEVATION
 1/16" = 1'-0"



2 WEST ELEVATION
 1/16" = 1'-0"



2/17/2016 2:27:19 PM (DRAWING SCALED FOR 11\"/>

SPR APPLICATION

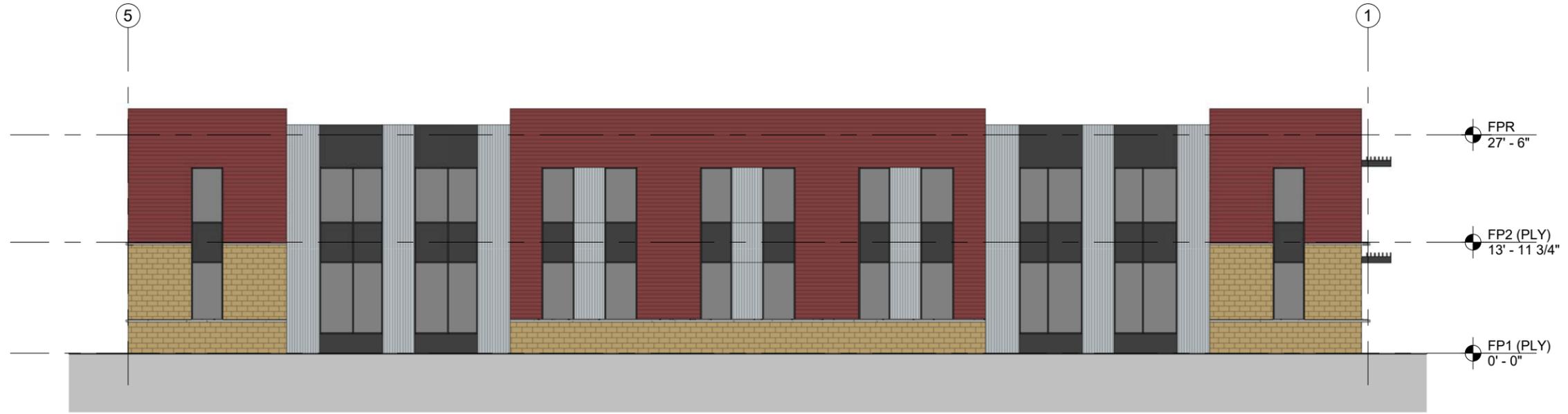
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ELEVATIONS

A 5.1

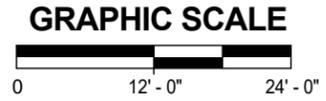
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3 NORTH ELEVATION
1/16" = 1'-0"



4 EAST ELEVATION
1/16" = 1'-0"



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**WINTERGREEN
MEDICAL BUILDING**
WINTERGREEN WALK
BAINBRIDGE ISLAND, WA 98110
OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

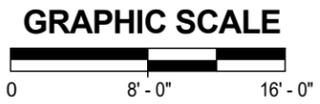
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ELEVATIONS
A 5.2



1 SECTION LOOKING EAST
 3/32" = 1'-0"



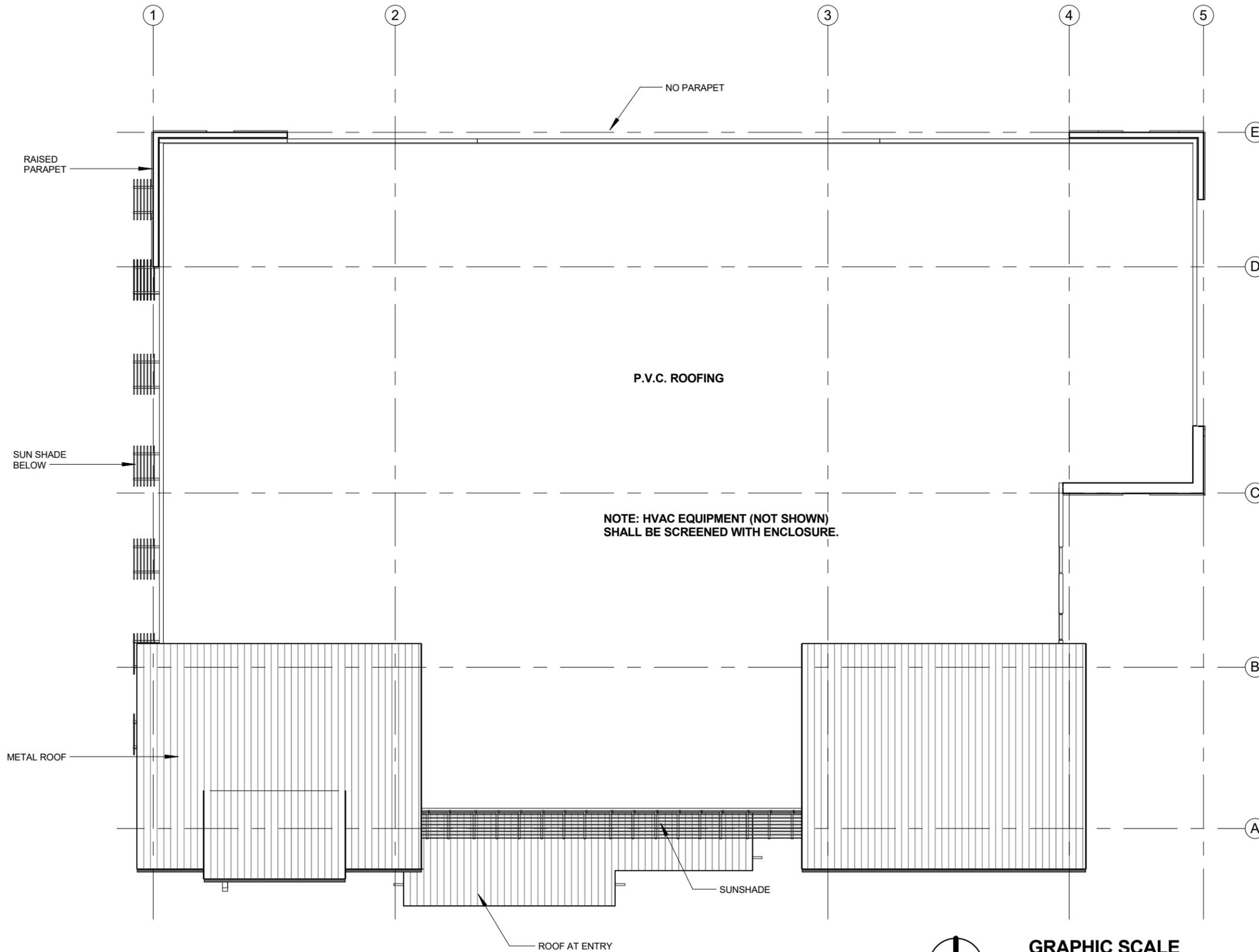
**WINTERGREEN
 MEDICAL BUILDING**
 WINTERGREEN WALK
 BAINBRIDGE ISLAND, WA 98110
 OWNER: VISCONSI COMPANIES LTD.

SPR APPLICATION

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1 ROOF PLAN
1/16" = 1'-0"

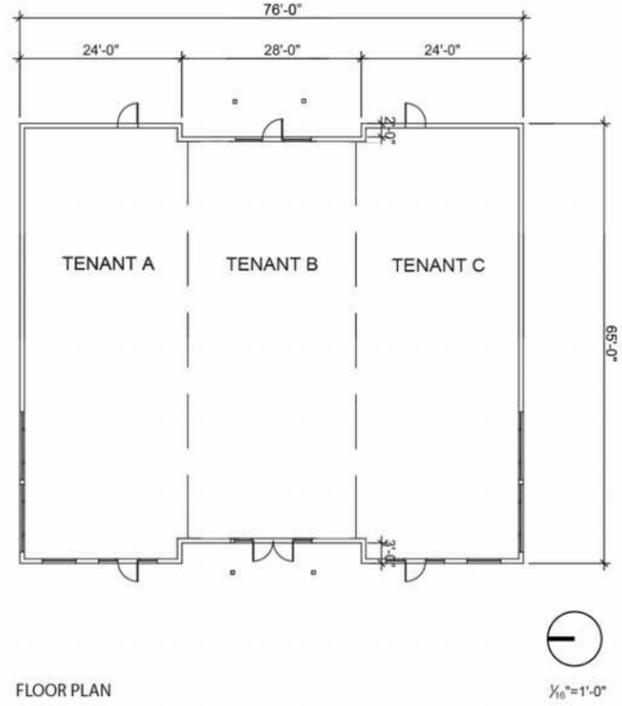
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4/10/2013 9:37:02 AM SHEET SIZE - 18" X 24"



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**WINTERGREEN
 MEDICAL BUILDING**
 WINTERGREEN LANE, BAINBRIDGE ISLAND,
 WA 91108
 OWNER: VISCONSI COMPANIES LTD.

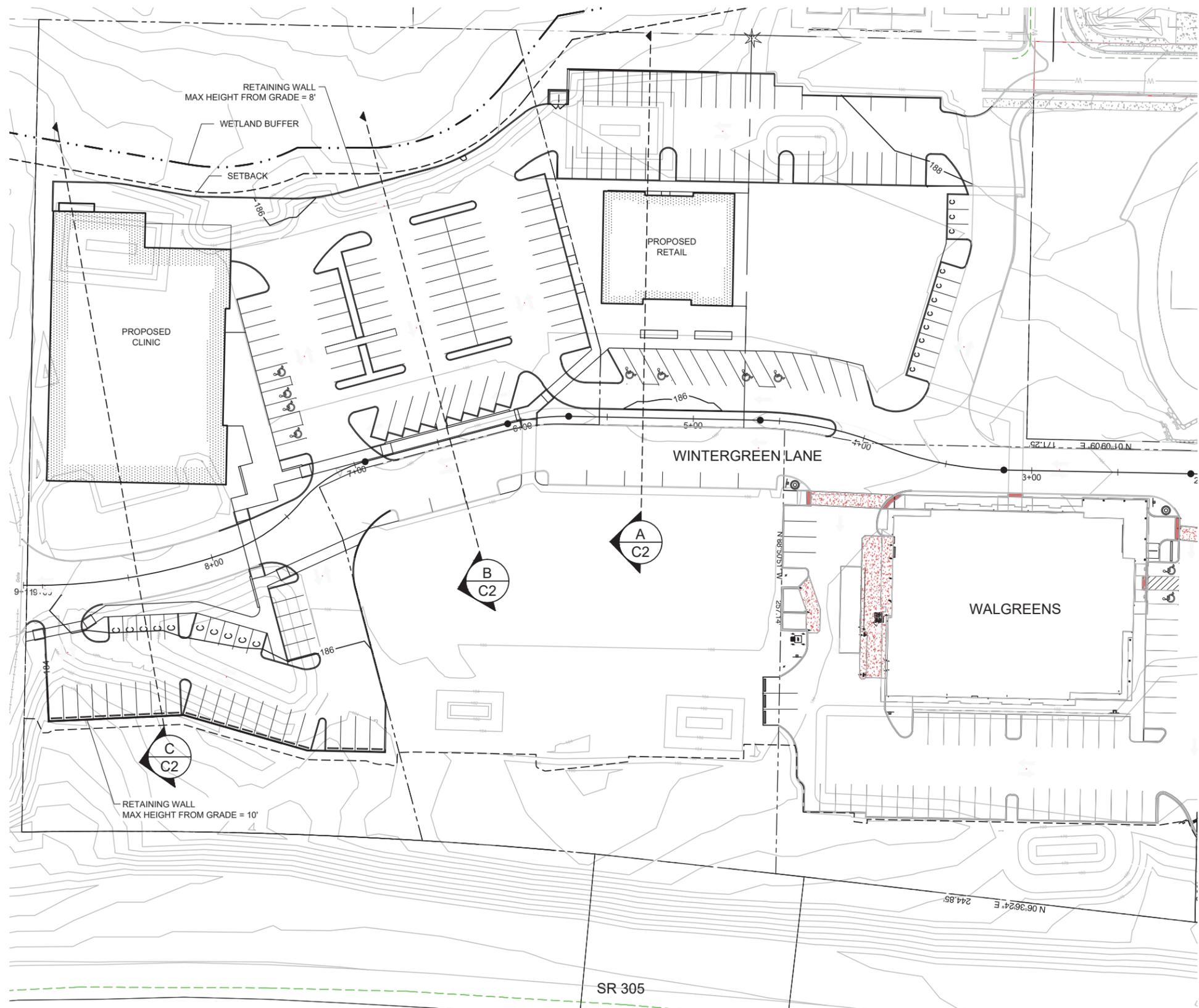
SPR APPLICATION

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REVISED BLDG 6

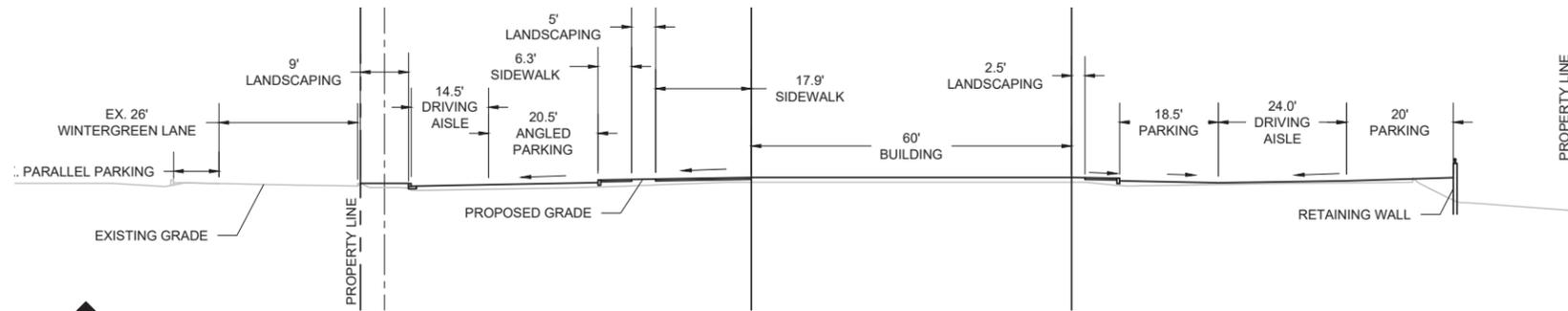
A 8



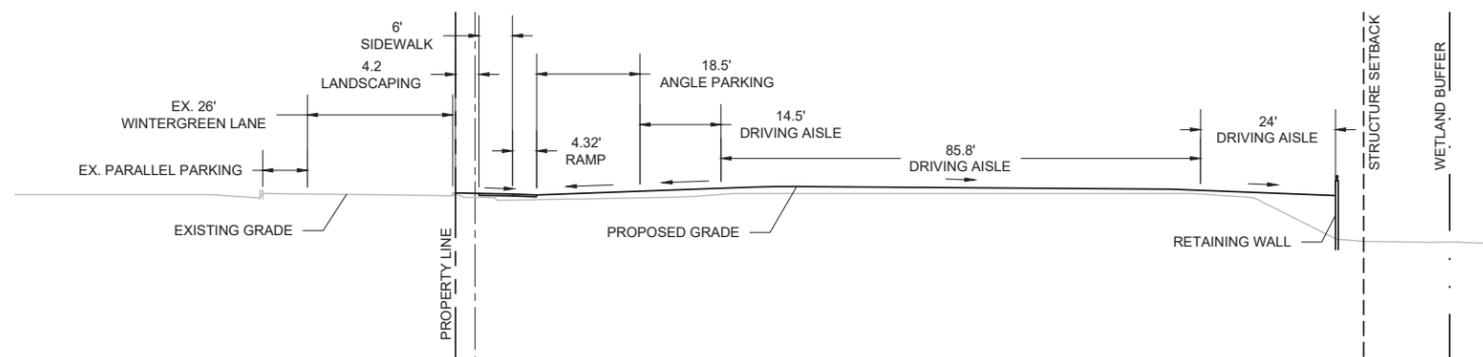
PRELIMINARY
NOT FOR CONSTRUCTION
2/17/16



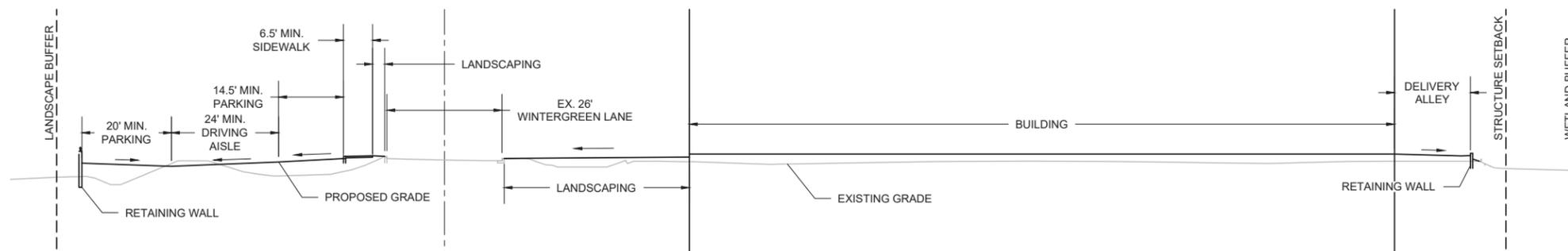
GRADING PLAN WINTERGREEN MEDICAL BUILDING SITE PLAN REVIEW		C1
BROWNE • WHEELER ENGINEERS, INC 241 ERICKSEN AVENUE NE BAINBRIDGE ISLAND, WA 98110 P 206.842.0605 INFO@BrowneWheeler.COM		DATE 2/17/16 DESIGNED AEW DRAWN NDW CHECKED DWB PROJECT # VIO4-009
VWA-BAINBRIDGE ISLAND, LLC 30050 CHAGRIN BLVD, SUITE 360 PEPPER PIKE, OH 44124		1 OF 4



A
C2
BLDG SITE 6
NO SCALE



B
C2
MAIN PARKING LOT
NO SCALE



C
C2
WINTERGREEN CLINIC AND WEST PARKING
NO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION



GRADING SECTIONS WINTERGREEN MEDICAL BUILDING SITE PLAN REVIEW		C2
BROWNE • WHEELER ENGINEERS, INC 241 ERICKSEN AVENUE NE BAINBRIDGE ISLAND, WA 98110 P 206.842.0605 INFO@BrowneWheeler.COM	DATE 2/17/16 DESIGNED AEW DRAWN NDW CHECKED DWB PROJECT # VIO4-009	2 OF 4
	VWA-BAINBRIDGE ISLAND, LLC 30050 CHAGRIN BLVD, SUITE 360 PEPPER PIKE, OH 44124	

LEGEND

- WATER METER
- ⊗ GATE VALVE
- CATCH BASIN
- STORM DRAIN MANHOLE
- ⊕ FIRE HYDRANT
- SD — PROPOSED STORM DRAIN
- W — PROPOSED WATER
- SS — PROPOSED SANITARY SEWER

NOTES:

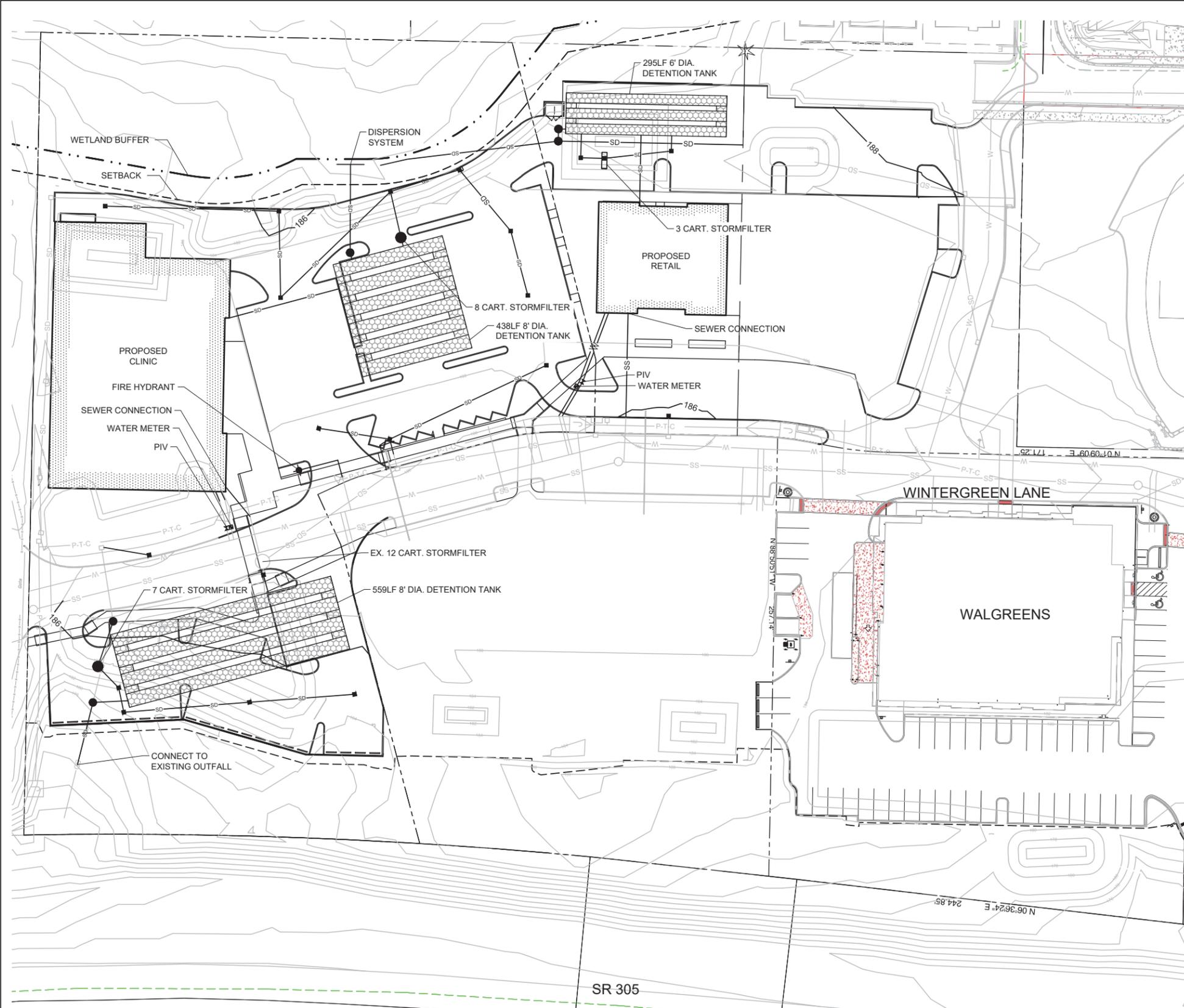
1. STORMWATER MITIGATION MEASURES

WATER QUANTITY:
DETENTION TANK SYSTEMS DESIGNED TO MEET CITY OF BAINBRIDGE ISLAND DURATION STANDARD

WATER QUALITY:
CARTRIDGE FILTER SYSTEMS DESIGNED TO MEET CITY OF BAINBRIDGE ISLAND TREATMENT STANDARD

2. DETAILED EROSION CONTROL PLAN WILL BE DESIGNED AND SUBMITTED WITH THE BUILDING PERMIT

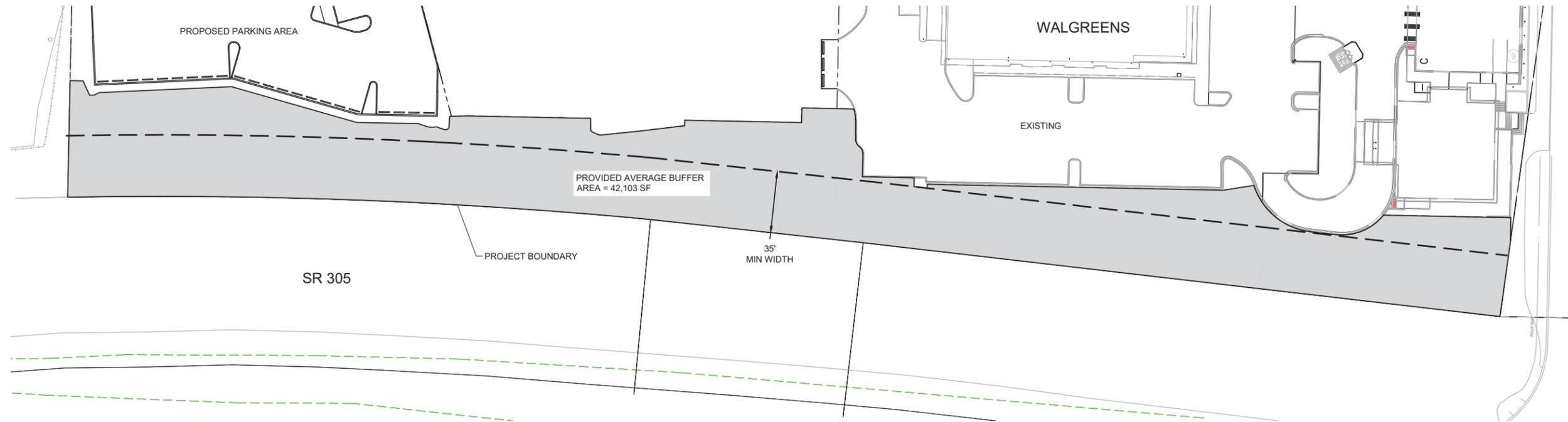
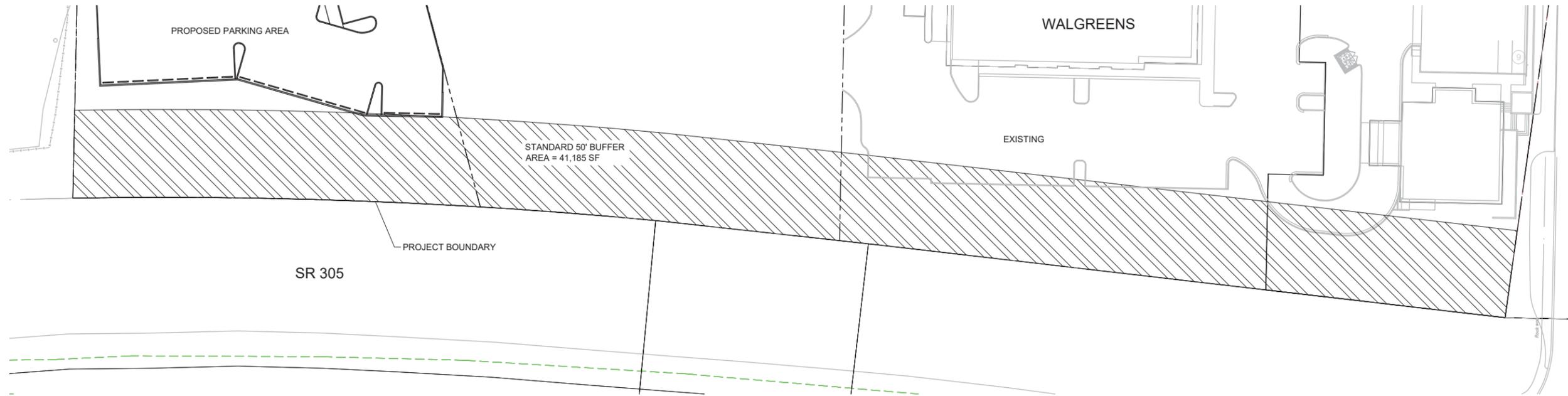
3. POWER, TELEPHONE AND CABLE WILL BE DESIGNED BY OTHERS



PRELIMINARY
NOT FOR CONSTRUCTION



UTILITY PLAN WINTERGREEN MEDICAL BUILDING SITE PLAN REVIEW		C3
<p>BROWNE • WHEELER ENGINEERS, INC 241 ERICKSEN AVENUE NE BAINBRIDGE ISLAND, WA 98110 P 206.842.0605 INFO@BrowneWheeler.COM</p>		
<p>DATE 2/17/16 DESIGNED AEW DRAWN NDW CHECKED DWB PROJECT # VIO4-009</p>	<p>VWA-BAINBRIDGE ISLAND, LLC 30050 CHAGRIN BLVD, SUITE 360 PEPPER PIKE, OH 44124</p>	3 OF 4



SPR/CUP APPROVED AVERAGE BUFFER
AREA = 42,090 SF

PRELIMINARY
NOT FOR CONSTRUCTION



BUFFER PLAN		C4
WINTERGREEN MEDICAL BUILDING		
SITE PLAN REVIEW		
BROWNE • WHEELER ENGINEERS, INC 241 ERICKSEN AVENUE NE BAINBRIDGE ISLAND, WA 98110 P 206.842.0605 INFO@BrowneWheeler.COM	VWA-BAINBRIDGE ISLAND, LLC 30050 CHAGRIN BLVD, SUITE 360 PEPPER PIKE, OH 44124	DATE 2/17/16 DESIGNED AEW DRAWN NDW CHECKED DWB PROJECT # VIO4-009
	4 OF 4	



FISCHER-BOUMA
PARTNERSHIP

Landscape Architecture + Community Planning
310 Madison Ave South, Suite A
Bainbridge Island, WA 98110
(206) 780.5651
www.fbpartnership.com

Visconsi Construction Services
360 Corporate Circle
30050 Chagrin Blvd.
Pepper Pike, OH 44124

PROJECT:
HIGH SCHOOL ROAD & 305
WINTERGREEN CLINIC

PROJECT NUMBER:
2015-039

SUBMITTAL:
SITE PLAN REVIEW
02/17/2016

REVISIONS:

NO.	DATE	DESCRIPTION

STAMP:



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT

JEFFREY K. BOUMA
CERTIFICATE No. 947

PRINCIPAL IN CHARGE:

DRAWN BY: JP DATE: 02/02/2016
REVIEWED BY: JB DATE: 02/10/2016

SHEET TITLE:

ILLUSTRATIVE SITE PLAN

SCALE:

SHEET NUMBER:

L000



LEGEND & NOTES

EXISTING SURVEYED TREE TO BE RETAINED & PROTECTED

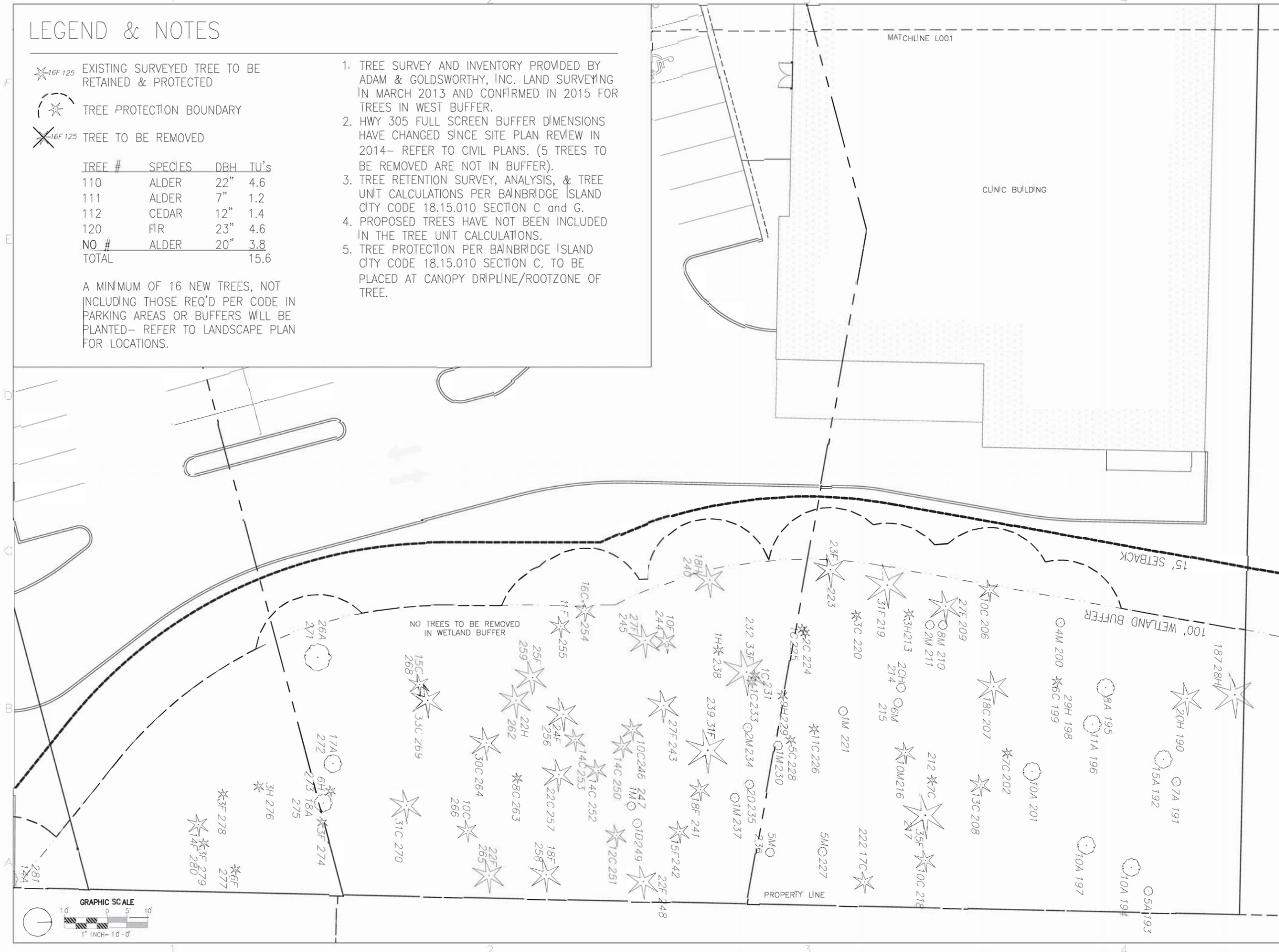
TREE PROTECTION BOUNDARY

TREE TO BE REMOVED

TREE #	SPECIES	DBH	TU's
110	ALDER	22"	4.6
111	ALDER	7"	1.2
112	CEDAR	12"	1.4
120	FIR	23"	4.6
NO #	ALDER	20"	3.8
TOTAL			15.6

A MINIMUM OF 16 NEW TREES, NOT INCLUDING THOSE REQ'D PER CODE IN PARKING AREAS OR BUFFERS WILL BE PLANTED- REFER TO LANDSCAPE PLAN FOR LOCATIONS.

1. TREE SURVEY AND INVENTORY PROVIDED BY ADAM & GOLDSWORTHY, INC. LAND SURVEYING IN MARCH 2013 AND CONFIRMED IN 2015 FOR TREES IN WEST BUFFER.
2. HWY 305 FULL SCREEN BUFFER DIMENSIONS HAVE CHANGED SINCE SITE PLAN REVIEW IN 2014- REFER TO CIVIL PLANS. (5 TREES TO BE REMOVED ARE NOT IN BUFFER).
3. TREE RETENTION SURVEY, ANALYSIS, & TREE UNIT CALCULATIONS PER BANBRIDGE ISLAND CITY CODE 18.15.010 SECTION C and G.
4. PROPOSED TREES HAVE NOT BEEN INCLUDED IN THE TREE UNIT CALCULATIONS.
5. TREE PROTECTION PER BANBRIDGE ISLAND CITY CODE 18.15.010 SECTION C. TO BE PLACED AT CANOPY DRIPLINE/ROOTZONE OF TREE.



Visconsi Construction Services
360 Corporate Circle
30050 Chagrin Blvd.
Pepper Pike, OH 44124

PROJECT: HIGH SCHOOL ROAD & 305 WINTERGREEN CLINIC
PROJECT NUMBER: 2015-039
SUBMITAL: SITE PLAN REVIEW 02/17/2016

REVISIONS:		
NO.	DATE	DESCRIPTION



PRINCIPAL IN CHARGE: DRAWN BY: JB DATE: 02/01/2016
REVIEWED BY: SF DATE: 02/07/2016

SHEET TITLE: TREE RETENTION PLAN - EAST
SCALE: 1" = 10'-0"
SHEET NUMBER:

L002

PLANT SCHEDULE - CONTINUED ON L100B

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	MATURE HT.
	AME GLE	3	AMELANCHIER X GRANDIFLORA 'GLENFORM'	RAINBOW PILLAR SERVICEBERRY-MULTISTEM	B & B	2" CAL		
	ARB UNE	6	ARBUTUS UNEDO	STRAWBERRY TREE	3 GAL	NA		
	ARB MAR	3	ARBUTUS X 'MARINA'	MARINA STRAWBERRY TREE MULTI-TRUNK	B & B	2" CAL		
	CHA GRA	2	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINOKI CYPRESS	NA		6' HT.	10' HT.
	CHI VIR	1	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	B & B	2" CAL		
	COR KN3	1	CORNUS X 'KN 30-8'	VENUS DOGWOOD	NA	2" CAL		
	GIN JFS	3	GINKGO BILOBA 'JFS-UGA2'	GOLDEN COLONNADE GINKGO	B & B	2" CAL	NA	
	GIN PRI	3	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	B & B	2" CAL		
	HAL TET	2	HALESIA TETRAPTERA	MOUNTAIN SILVERBELL	B & B	2" CAL		
	LIQ SLE	12	LIQUIDAMBAR STYRACIFOLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	B & B	2" CAL		
	LIR JFS	2	LIRIODENDRON TULIPIFERA 'JFS-OZ'	EMERALD CITY TULIP TREE	B & B	2" CAL		
	MAA AMU	1	MAACKIA AMURENSIS	AMUR MAACKIA	B & B	2" CAL		
	MAL APF	6	MALUS TSCHONOSKII	PILLAR APPLE	B & B	2" CAL	NA	20' HT.
	OST JFS	6	OSTRYA VIRGINIANA 'JFS-KW5'	AUTUMN TREASURE HOPHORNBEAM	B & B	2" CAL		
	PIN NIG	3	PINUS NIGRA	AUSTRIAN BLACK PINE	B & B	NA	6' HT.	
	QUE PHE	2	QUERCUS PHELLOS	WILLOW OAK	B & B	2" CAL		
	SOP HAL	2	SOPHORA JAPONICA 'HALKA'	JAPANESE PAGODA TREE	B & B	2" CAL		
	THU GRE	6	THUJA STANDISHII X PPLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	NA		6' HT.	
	ZEL MUS	6	ZELKOVA SERRATA 'MUSASHINO'	SAWLEAF ZELKOVA	B & B	2" CAL	NA	45' HT.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT			
	ARB COM	8	ARBUTUS UNEDO 'COMPACTA'	DWARF STRAWBERRY TREE	3 GAL			
	CAL SIL	93	CALLUNA VULGARIS 'SILVER KNIGHT'	SILVER KNIGHT HEATHER	1 GAL			
	CEP DUK	74	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEW	3 GAL			
	CHO TER	22	CHOISYA TERNATA	MEXICAN ORANGE	3 GAL			
	CIS HYB	133	CISTUS X HYBRIDUS	WHITE ROCKROSE	3 GAL			
	ESC FRA	29	ESCALLONIA X EXONIENSIS 'FRADESII'	FRADESII PINK ESCALLONIA	3 GAL			
	FOT GAR	19	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	3 GAL			
	GAR JAM	42	GARRYA ELLIPTICA 'JAMES ROOF'	JAMES ROOF COAST SILK TASSEL	3 GAL			
	GAU SHA	94	GAULTHERIA SHALLON	SALAL	1 GAL			
	HEB GRE	25	HEBE X 'GREAT ORME'	GREAT ORME HEBE	3 GAL			
	LAV HID	67	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	HIDCOTE BLUE ENGLISH LAVENDER	1 GAL			
	MAH AQU	6	MAHONIA AQUIFOLIUM	OREGON GRAPE	3 GAL			
	MAH COM	114	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	3 GAL			
	PAN NOR	135	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL			

GENERAL NOTES

- REFER TO L001B FOR PLANTING NOTES.
- PROTECT AND PRESERVE EXISTING TREES AS REQUIRED (THEY HAVE ALREADY BEEN FENCED) PER CONDITION #5 OF THE HEARING EXAMINER'S DECISION.
- REFER TO CIVIL DRAWINGS FOR LANDSCAPE GRADING AND DRAINAGE.

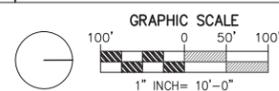
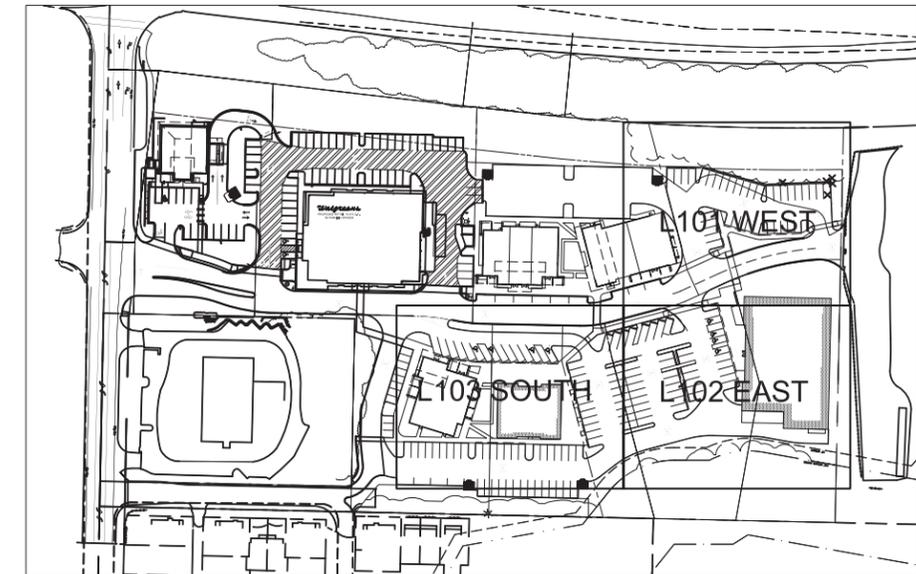


Visconsi Construction Services
 360 Corporate Circle
 30050 Chagrin Blvd.
 Pepper Pike, OH 44124

PROJECT: HIGH SCHOOL ROAD & 305 WINTERGREEN CLINIC
 PROJECT NUMBER: 2015-039
 SUBMITTAL: SITE PLAN REVIEW 02/17/2016

LANDSCAPE SHEET INDEX

SHEET NO.	SHEET NAME
L000	ILLUSTRATIVE SITE PLAN
L001	TREE RETENTION PLAN WEST
L002	TREE RETENTION PLAN EAST
L100A	PLANTING SCHEDULE & NOTES
L100B	PLANTING SCHEDULE & NOTES
L101	LANDSCAPE PLAN WEST
L102	LANDSCAPE PLAN EAST
L103	LANDSCAPE PLAN SOUTH
L200	SITE LIGHTING PLAN
L300	LANDSCAPE DETAILS



REVISIONS:		
NO.	DATE	DESCRIPTION

STAMP:

JEFFREY K. BOUMA
 CERTIFICATE NO. 947

PRINCIPAL IN CHARGE:
 DRAWN BY: JB DATE: 02/05/2016
 REVIEWED BY: SF DATE: 02/10/2016

SHEET TITLE:
LANDSCAPE SCHEDULE & NOTES

SCALE: NTS
 SHEET NUMBER:

L100A

F

E

D

C

B

A



POL MUN	42	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL
RHO CHI	14	RHODODENDRON X CHIONOIDES	CHIONOIDES RHODODENDRON	3 GAL
ROS BLU	38	ROSMARINUS OFFICINALIS 'BLUE SPIRES'	BLUE SPIRES ROSEMARY	3 GAL
SAM GER	2	SAMBUCUS NIGRA 'GERDA'	GERDA ELDERBERRY	3 GAL
SCH MIN	67	SCHIZACHYRIUM SCOPARIUM 'MINNBLUE A'	BLUE HEAVEN LITTLE BLUESTEM	1 GAL
SCH THE	70	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	1 GAL
TAX HUB	18	TAXUS X MEDIA 'HUBER'S TAWNY GOLD'	HUBER'S TAWNY GOLD SPREADING YEW	3 GAL
VAC SUN	18	VACCINIUM X 'SUNSHINE BLUE'	SUNSHINE BLUE BLUEBERRY	3 GAL
YUC BRI	6	YUCCA FILAMENTOSA 'BRIGHT EDGE'	BRIGHT EDGE ADAM'S NEEDLE	3 GAL

ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
●	ACH MOO	87	ACHILLEA MILLEFOLIUM 'MOONSHINE'	MOONSHINE YARROW	1 GAL
⊙	ECH POW	50	ECHINACEA PURPUREA 'POWWOW WHITE'	POWWOW WHITE CONEFLOWER	1 GAL
⊕	EUP WUL	11	EUPHORBIA CHARACIAS WULFENII	EVERGREEN SPURGE	1 GAL
⊕	HEL ARG	26	HELLEBORUS ARGUTIFOLIUS	HELLEBORE	1 GAL
⊕	PER ATR	11	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL
⊕	POL VAR	11	POLYGONATUM ODORATUM 'VARIEGATUM'	SOLOMON'S-SEAL	1 GAL
⊕	SAL BLA	7	SALVIA GUARANITICA 'BLACK AND BLUE'	SAGE	1 GAL
○	THA DEL	29	THALICTRUM DELAVAYI	MEADOW RUE	1 GAL

VINE/ESPALIER	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
▲	LON BLA	5	LONICERA SEMPERVIRENS 'BLANCHE SANDMAN'	BLANCHE SANDMAN HONEYSUCKLE	3 GAL
▲	ROS LUT	2	ROSA BANKSIAE 'LUTEA'	YELLOW BANKS ROSE ESPALIER	3 GAL
▲	TRA JAS	2	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
▨	BEE DEL	57	BEESIA DELTOPHYLLA	BEESIA	4" POT	18" o.c.
▨	GAU PRO	70,770	GAULTHERIA PROCUMBENS	WINTERGREEN	4" POT	2" o.c.
▨	KIN MIX	1,443	KINNIKINNICK MIX	KINNIKINNICK MIX	4" POT	24" o.c.
▨	LIR BIG	534	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	4" POT	15" o.c.
▨	MAH REP	445	MAHONIA REPENS	CREEPING MAHONIA	4" POT	30" o.c.
▨	POL MU2	88	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	4" POT	42" o.c.
▨	SED SPA	212	SEDUM SPATHULIFOLIUM 'PURPUREUM'	PURPLE BROADLEAF STONECROP	4" POT	18" o.c.

KINNIKINNICK MIX (SPECIES EVENLY DISTRIBUTED)

PERCENT	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
60%	1044	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNIKINNICK	4" POT	24" OC
20%	348	ANAPHALIS MARGARITACEA	PEARLY EVERLASTING	4" POT	24" OC
20%	349	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	4# POT	24" OC

PLANTING NOTES

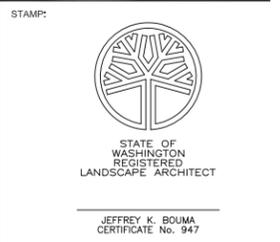
- PLANTING DESIGN PER BIMC 18.15.010.F.2.C AND D FOR PARKING LOT PLANTING AND 18.15.010.E.1 FOR FULL SCREEN PLANTING. SEE PLANT SCHEDULES FOR SPECIES, QUANTITIES, AND MINIMUM SPACING. CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SOIL AMENDMENTS IN SOIL PREPARATION AND FINISH GRADING.
- ALL LANDSCAPE AREAS DESIGNED FOR INSTALLATION OF TREES (EXCEPT BUFFERS) SHALL HAVE A MINIMUM TOPSOIL DEPTH OF 18" PLUS 8" SCARIFIED SUBGRADE (SEE DETAIL). MINIMUM SOIL DEPTH SHALL INCLUDE SOILS THAT MEET SOIL SPECIFICATIONS.
- FOR ALL TOPSOIL, THE CONTRACTOR SHALL OBTAIN A LANDSCAPE SOIL ANALYSIS CERTIFYING THAT THE SOIL MEETS THE SOIL SPECIFICATIONS. THE CERTIFICATION SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT AND APPROVED PRIOR TO SOIL DELIVERY. REFER TO DETAIL FOR TOPSOIL DEPTH IN NEW LANDSCAPE PLANTERS.
- IN BUFFER PLANTING AREAS THERE ARE 2 CONDITIONS: 1) DISTURBED SOIL AND 2) UNDISTURBED SOIL. IN CONDITION 1 PROVIDE 6" MIN NEW TOPSOIL TILLED INTO EXISTING PRIOR TO PLANTING AND 3" DEPTH MULCH THROUGHOUT. IN CONDITION 2 INFILL PLANT PER PLAN WITHOUT DISTURBING EXISTING NATIVE VEGETATION AND NEW TOPSOIL TO BE USED IN PLANTING HOLE ONLY PER DETAILS. PROVIDE 3" DIAMETER 3" DEPTH MULCH RING AROUND EACH NEW PLANT OR TREE.
- REMOVE INVASIVE SPECIES, INCLUDING ROOTS, FROM BUFFER PLANTING AREAS.
- APPLY 3" DEPTH OF COMPOSTED ORGANIC BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, SAWDUST, AND SHALL NOT CONTAIN ANYTHING DETRIMENTAL TO PLANT GROWTH. PULL MULCH 3" AWAY FROM BASE OF PLANT.
- LAYOUT FOR ALL PLANTING AREAS TO BE VERIFIED ON SITE BY LANDSCAPE ARCHITECT DUE TO VARYING FIELD CONDITIONS AND DENSITIES OF EXISTING VEGETATION.
- ALL PLANT MATERIAL SHALL CONFORM TO ANSI STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- LANDSCAPE ARCHITECT WILL SUPERVISE THE PLANTING PROCESS. MODIFICATIONS TO THE PLANTING PLAN MAY OCCUR BASED ON FIELD CONDITIONS AND THE AVAILABILITY OF PLANT MATERIAL.
- PLANTINGS WILL BE B&B AND CONTAINERIZED NATIVE PLANT MATERIAL, AS APPROPRIATE AND SPECIFIED, FROM REGIONAL GENETIC STOCK. PLASTIC NURSERY IDENTIFICATION TAGS WILL BE ATTACHED TO THE STEM OF EACH WOODY PLANTING.
- LOCAL NURSERY STOCK WILL BE USED TO ENSURE THAT THE MATERIAL HAS ACCLIMATED TO LOCAL CONDITIONS (REDUCING PLANTING STRESS) AND IS GENETICALLY COMPARABLE WITH PLANTS IN THE LOCAL AREA.
- FINAL PLANT LISTS WILL BE CONTINGENT UPON PLANT AVAILABILITY. IF SPECIES ARE UNAVAILABLE FROM LOCAL NURSERIES THEN UPON PRIOR APPROVAL OTHER GENUS OR SPECIES WITH SIMILAR HYDROLOGICAL REQUIREMENTS MAY BE SUBSTITUTED.
- TREES WILL BE STAKED ONLY IF A PLANT CANNOT STAND ALONE IN A MODERATE WIND PER PLANTING DETAILS.
- ALL PLANTINGS WILL BE MULCHED WITH A MINIMUM OF 3 INCHES OF ORGANIC MULCH AS SPECIFIED TO DISCOURAGE WEED GROWTH, MINIMIZE SOIL EROSION, AND RETAIN MOISTURE. THE MULCH IS NOT TO MAKE CONTACT WITH THE PLANT STEM. DO NOT DISTURB TREES AND VEGETATION OUTSIDE LIMIT OF WORK. IF TREES HAVE NOT BEEN DESIGNATED AS SAVE OR REMOVE ON DEMO OR OTHER PLANS IT SHOULD BE ASSUMED THAT THEY ARE TO BE SAVED. CONFIRM THAT PROTECTION FENCING HAS BEEN INSTALLED AND BEING MAINTAINED PER HEARING EXAMINER'S DECISION ITEM #5.
- THE ENTIRE WIDTH OF THE PLANTING ISLANDS SHALL CONTAIN ONLY SOIL, AND BY WAY OF ILLUSTRATION ONLY AND NOT LIMITATION, BE FREE OF QUARRY SPALLS, GRAVEL, CONCRETE, CONSTRUCTION DEBRIS, OR OTHER FOREIGN MATERIALS. DO NOT DIG BEFORE LOCATING UTILITIES.
- ALL PLANT MATERIAL SHOULD BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN THE SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE INSTALLATION TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- A PRE-CONSTRUCTION CONFERENCE PRIOR TO THE START OF ANY LANDSCAPE CONSTRUCTION IS REQUIRED.
- PLANTS SHALL BE INSPECTED PRIOR TO PLANTING TO VERIFY CONFORMANCE WITH PLANTING SIZE AND OTHER REQUIREMENTS.
- ALL LANDSCAPING SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.
- PRIOR TO THE END OF THE WARRANTY PERIOD, THE LANDSCAPE WILL BE INSPECTED AND DEAD OR UNHEALTHY PLANTS WILL BE REQUIRED TO BE REPLACED WITH SAME SPECIES AND SIZES.



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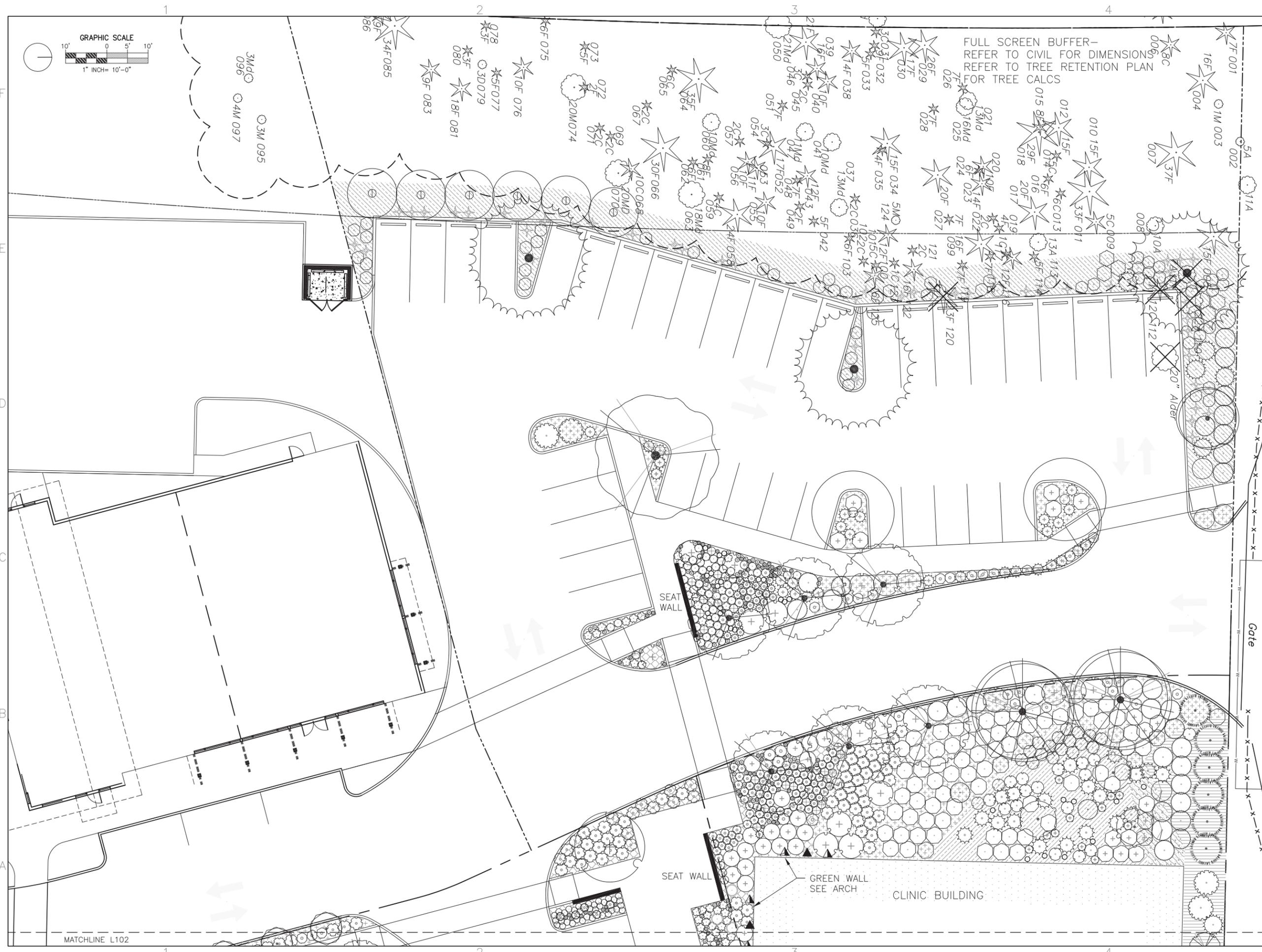
REVISIONS:		
NO.	DATE	DESCRIPTION



PRINCIPAL IN CHARGE:
 DRAWN BY: JB DATE: 10/10/2014
 REVIEWED BY: SF DATE: 10/24/2014

SHEET TITLE:
LANDSCAPE SCHEDULE & NOTES
 SCALE: 1" = 10'-0"

SHEET NUMBER:
L100B



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 30050 Chagrin Blvd.
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REVISIONS:

NO.	DATE	DESCRIPTION

STAMP:

 STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
 JEFFREY K. BOUMA
 CERTIFICATE No. 947

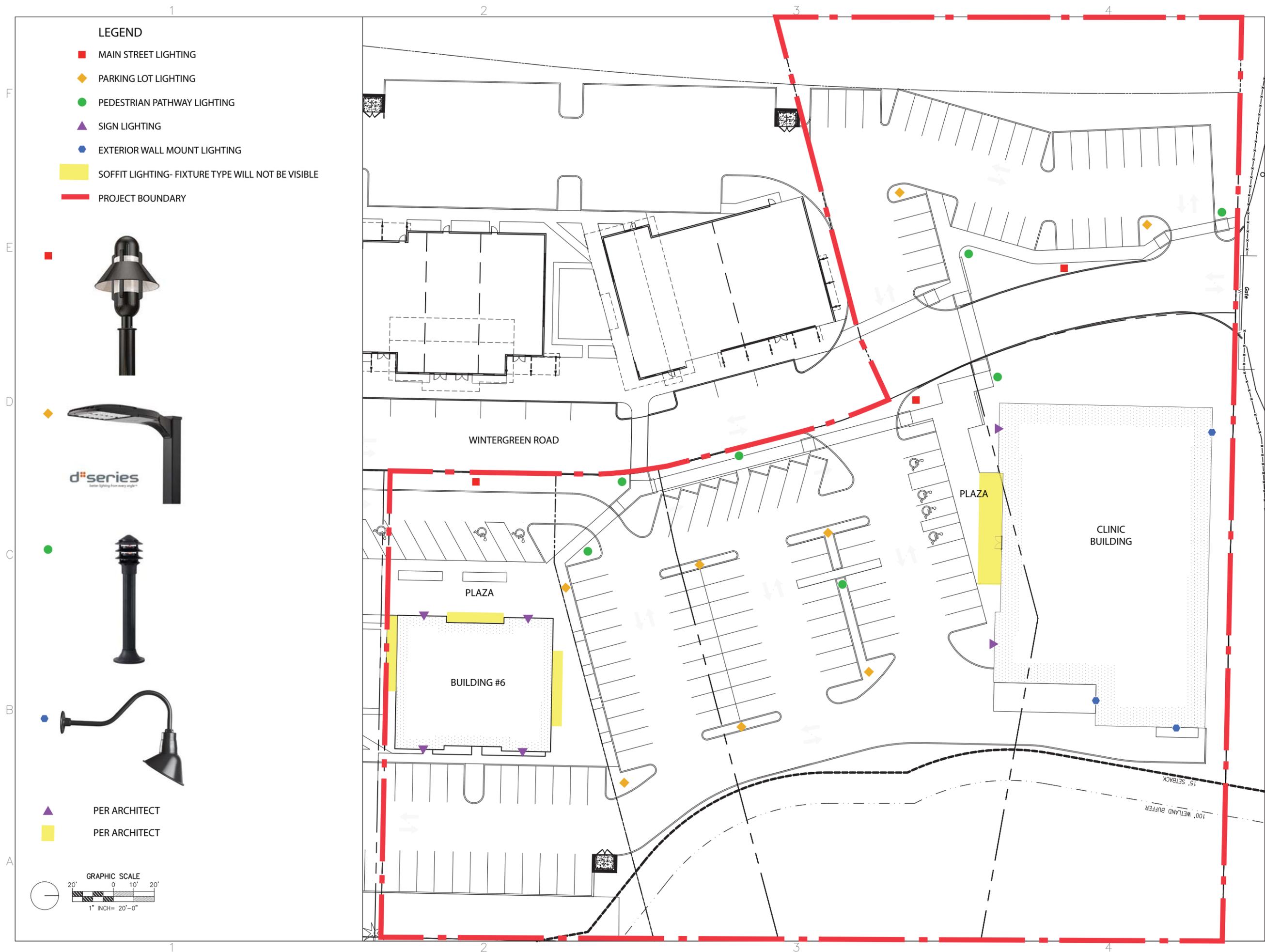
PRINCIPAL IN CHARGE:
 DRAWN BY: JP DATE: 02/05/2016
 REVIEWED BY: JB DATE: 02/10/2016

SHEET TITLE:
PLANTING PLAN WEST

SCALE: 1" = 10'-0"
 SHEET NUMBER:

L101

MATCHLINE L102



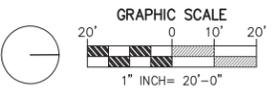
LEGEND

- MAIN STREET LIGHTING
- ◆ PARKING LOT LIGHTING
- PEDESTRIAN PATHWAY LIGHTING
- ▲ SIGN LIGHTING
- EXTERIOR WALL MOUNT LIGHTING
- SOFFIT LIGHTING- FIXTURE TYPE WILL NOT BE VISIBLE
- PROJECT BOUNDARY



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PER ARCHITECT
PER ARCHITECT

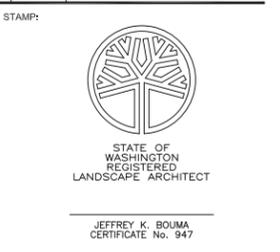


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PRINCIPAL IN CHARGE:
DRAWN BY: JP DATE: 02/05/2016
REVIEWED BY: JB DATE: 02/10/2016

SHEET TITLE:
LIGHTING PLAN

SCALE: 1" = 10'-0"
SHEET NUMBER:

L200

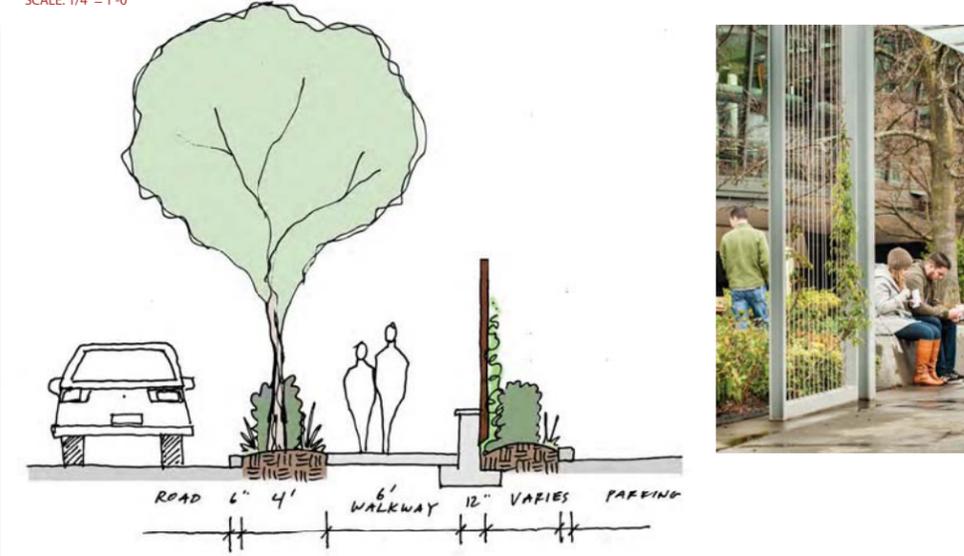
CLINIC PLAZA CONCEPT IMAGES



KEY PLAN
SCALE: NTS



PEDESTRIAN CORRIDOR SECTION
SCALE: 1/4" = 1'-0"



PEDESTRIAN CORRIDOR PLAN
SCALE: 1/4" = 1'-0"



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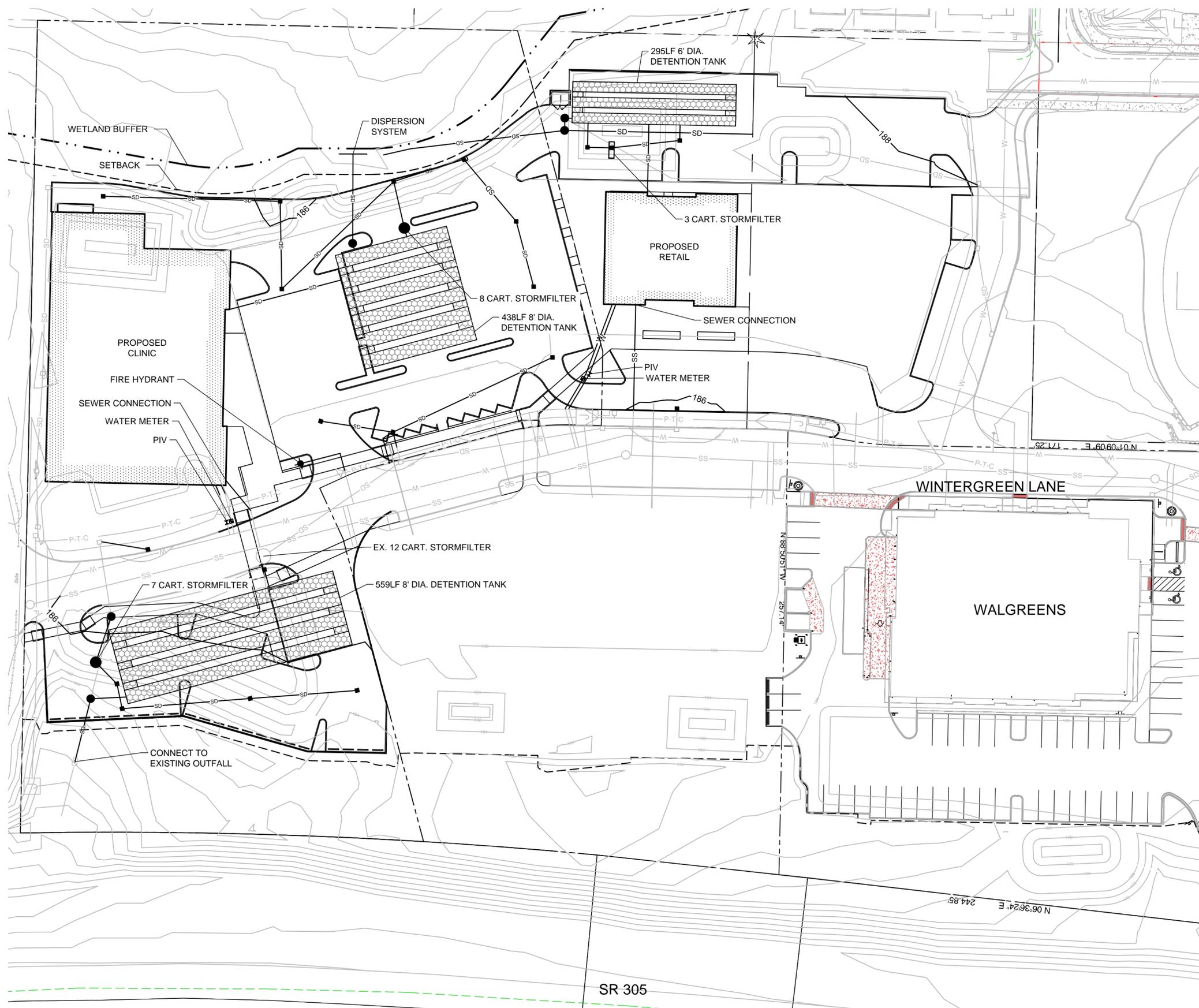
REVISIONS:	
NO.	DESCRIPTION



PRINCIPAL IN CHARGE:
DRAWN BY: JP DATE: 02/02/2016
REVIEWED BY: JB DATE: 02/10/2016

SHEET TITLE:
LANDSCAPE DETAILS
SCALE:
SHEET NUMBER:

L300



LEGEND

- WATER METER
- ✕ GATE VALVE
- CATCH BASIN
- STORM DRAIN MANHOLE
- ◆ FIRE HYDRANT
- SD — PROPOSED STORM DRAIN
- W — PROPOSED WATER
- SS — PROPOSED SANITARY SEWER

NOTES:

1. STORMWATER MITIGATION MEASURES
 - WATER QUANTITY: DETENTION TANK SYSTEMS DESIGNED TO MEET CITY OF BAINBRIDGE ISLAND DURATION STANDARD
 - WATER QUALITY: CARTRIDGE FILTER SYSTEMS DESIGNED TO MEET CITY OF BAINBRIDGE ISLAND TREATMENT STANDARD
2. DETAILED EROSION CONTROL PLAN WILL BE DESIGNED AND SUBMITTED WITH THE BUILDING PERMIT
3. POWER, TELEPHONE AND CABLE WILL BE DESIGNED BY OTHERS



PRELIMINARY
NOT FOR CONSTRUCTION



UTILITY PLAN WINTERGREEN MEDICAL BUILDING SITE PLAN REVIEW		C3
BROWNE • WHEELER ENGINEERS, INC 241 ERICKSEN AVENUE NE BAINBRIDGE ISLAND, WA 98110 P 206.842.0605 INFO@BrowneWheeler.COM		
VWA-BAINBRIDGE ISLAND, LLC 30050 CHAGRIN BLVD, SUITE 360 PEPPER PIKE, OH 44124	DATE <u>2/17/16</u> DESIGNED <u>AEW</u> DRAWN <u>NDW</u> CHECKED <u>DWB</u> PROJECT # <u>VIO4-009</u>	3 OF 4

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

“Pre-App” Meeting Checklist



“Post-App” Meeting Checklist

Project Name/Case #: WINTERGREEN MEDICAL BUILDING

Land Use Application
(Pre-app, Site Plan
Review etc.):

SITE PLAN REVIEW – MAJOR AMENDMENT

Project Description:

Proposal to modify planning approval for 20,000sf medical clinic to increase size to 30,000sf and modify Building 6.

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
1.	To develop variation in façade treatment to provide visual interest.	Vary building materials or patterns to produce variations in texture.	Consistent with completed portions of the shopping center, the project will utilize a variety of materials including CMU veneer, vertical metal siding, cement board panels, asphalt composition roofing &/or metal (4:12 and greater), aluminum storefront systems, and exposed wood framing at roof braces.	
2.	To modulate the scale of building masses.	Building elevations shall be vertically modulated in no more than 20’ increments or horizontally in no more than 30’ increments. Modulation is defined as a change in plane or articulation (such as bands, cornices, setbacks or changes in material).	The building materials and fenestration provide both vertical and horizontal modulation.	

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
3.	To limit the visual impact of blank walls and facades and better assure aesthetic appeal.	Blank walls shall not be visible to public spaces. Blank facades should otherwise be limited to the back of buildings or where required by the building code. Treatments to alleviate blank walls shall be similar in materials to facades normally in view of the public.	No blank facades are proposed.	
4.	To establish visually prominent ground floor facades.	The first floor of multi-storied buildings should be taller than upper floors. Minimum ceiling height should be at least 10' to allow transom or larger display windows. Other elements such as transom windows, canopies, cornices, and prominent entries are encouraged. First floor uses shall be pedestrian oriented and include substantial shop windows. Display windows on the first floor of retail and commercial buildings should be the predominant surface of the first floor.	The building will provide a minimum ceiling height of 10'.	
5.	To maintain pedestrian scale along facades facing public ways.	Facades facing public ways shall incorporate setbacks or articulation that establishes a pattern of bays or window openings. Facades shall include features such as display windows, columns or bays, recessed entries or canopies or other recesses. The use of a variety of materials at the sidewalk level is encouraged. Multiple building entrances are encouraged.	The façade includes setbacks where façade is recessed at main façade with public entry. This façade includes covered entry canopy and sunshade devices at upper windows. Exterior materials include metal siding, CMU, cement infill panels, and steel columns.	

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
6.	To maintain the pedestrian activities by encouraging continuous frontages along sidewalks.	Where parking fronts onto a public street, the maximum separation between buildings shall be 80 feet. Greater separations are permitted if landscape setbacks are increased or other design features such as low walls, trellises and public spaces are created along the street frontage.	A continuous screening feature with landscaping is proposed along the sidewalk connection.	
7.	To reduce overall scale of the building into multiple building masses.	Facades over 128' in length shall be separated by pedestrian passage or open space. Passages should be at least 12' wide and two stories in height if covered. Façade setback should be expressed at the roof line by changes in plane. Passage should connect to public open space.	The building is visually split into two masses by a central glass area. The façade is setback is expressed between the two sloped roofs.	
8.	To encourage the creation of public outdoor spaces.	Building setbacks may be increased for the creation of public outdoor seating areas. Entry alcoves and small outdoor spaces may be located between the building and the sidewalk.	The south façade will have a pedestrian plaza and sitting areas.	
9.	To soften the impact of the built environment.	Encourage public pedestrian passageways and vegetation between buildings.	Master plan has pedestrian passageways between buildings.	
10.	To encourage compatibility of development with both community and neighborhood characteristics.	Building designs should respond to nearby buildings that meet the upgraded design standards by using shared elements, materials or massing.	The building will use similar materials and features to complement other buildings in the retail center.	

Design Review Board Design Guideline Checklist

Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

Applicable Design Guidelines				
Design Guideline	Design Guideline	Design Guideline	Design Guideline	Design Guideline
11.	To minimize the intrusiveness of commercial signage.	Signage, corporate colors and other icons of the business may not dominate the exterior of the building. including canopies and separate outdoor structures covering activities associated with the business. Color should be used to express changes in detail or material but exterior building or structure colors may not be used as signs, or the extension of signs. When businesses are sold or tenants are changed, any sign modification shall trigger this requirement.	In general, we anticipate using externally illuminated façade signage visible from Wintergreen Lane.	
12.	To improve the pedestrian environment around buildings and minimize curb cuts.	Where a drive through facility is allowed, drive throughs must be in conjunction with a parking lot that serves the same business, must be to the side or rear of the building and should not be visible from public streets. Drive throughs should consist of no more than a single vehicle lane.	Not applicable.	
13.	To provide pedestrian access to buildings.	Provide multiple entrances along streets. Pedestrian passageways are encouraged.	Site master plan provides multiple entry's and passages. The main entry for the clinic is located near SW corner since that is the direction from which the building is approached.	
14.	To provide weather protection for pedestrians.	Recessed entries and/or overhead weather protection above the sidewalk entrances shall be used.	A covered entry porch is proposed.	

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Commercial and Mixed-Use Design Guidelines for All Zoning Districts– BIMC 18.18.030

15.	To maintain smaller scale commercial buildings.	Buildings in excess of a 10,000 square foot footprint should be visually split into two or more distinct elements.	The building is visually split into distinct elements.	
Applicable Design Guidelines				
Design Guideline	Design Guideline	Design Guideline	Design Guideline	Design Guideline
16.	To reduce the visual impact of parking areas.	Create small parking clusters connected by vegetated landscaping and pedestrian walkways. Internal streets that connect or serve parking areas shall be designed as streets with sidewalks, planters and pedestrian scale lighting.	The sidewalk connection from the retail to the medical will be designed as a sidewalk with planters and pedestrian scaled lighting.	

Guidelines Requiring Action per DRB:

DRB Summary Motion on Actions:

Design Review Board Design Guideline Checklist
Mixed Use Town Center/ General Design Guidelines– BIMC 18.18.030

"Pre-App" Meeting Checklist

"Post-App" Meeting Checklist

Project Name/Case #: WINTERGREEN MEDICAL BUILDING

Land Use Application
(Pre-app, Site Plan
Review etc.): SITE PLAN REVIEW – MAJOR AMENDMENT

Project Description: Proposal to modify planning approval for 20,000sf medical clinic to increase size to 30,000sf and modify Building 6.

Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
1. Parking Lot Location	To have parking lots be as visually unobtrusive as possible.	Parking lots should not front upon intersections. Parking lots should be located behind or to the side of buildings.	Parking is located to side of building. Parking will be screened by landscaping.	
2. Outdoor Open Spaces and Amenities	To establish, over time, a variety of open spaces within the town center	New development and redevelopment should provide facilities near or visible from the sidewalk for outdoor public use. Examples of such facilities include seating areas, courtyards, and small plaza spaces. Generally, the larger the development, the greater the number and size of such spaces. Furthermore, it is desirable to locate these spaces where they can receive sun and where they can easily be connected to adjacent concentrations of land use.	Project includes a series of public seating areas at plaza in front of building. All spaces have south exposure and are located along primary pedestrian circulation routes.	
3. Pedestrian Connections	To create a network of safe, comfortable and attractive linkages for people on foot	New development and redevelopment should include pedestrian walkways, raised and/or separated from traffic lanes, that offer access from the public sidewalk to the main entrance to the building. (Locating a building entrance directly on the sidewalk satisfies this guideline.) In addition, connections to adjoining properties should be provided. Furthermore, within parking lots, there should be pedestrian walkways that allow people to traverse the lot without being forced to use vehicular aisles.	The public sidewalk will connect directly to the pedestrian plaza in front of the building. A pathway will provide a connection to Pro-Build to the north. The parking lots have direct proximity to public sidewalks.	
4. Shielded Lighting	To ensure that the source of lighting for parking, service and loading areas is not visible from neighboring development.	Freestanding light fixtures should not exceed 14' in height. All exterior lighting fixtures should incorporate cutoff shields to prevent spillover.	Exterior lighting will be LED shielded lights. Lighting will be provided for illumination of parking areas, pathways and signage.	

Design Review Board Design Guideline Checklist
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Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
5. Screen Service Areas	To conceal loading, trash, and storage areas from view.	Trash containers should be enclosed on all sides with solid walls and gates. Loading docks, outdoor storage and staging areas should be screened with fencing and vegetation, such as evergreen hedges. Chain link fencing is not acceptable.	Trash containers will be located within screened enclosures. Enclosures will be placed at perimeter of parking areas.	
6. Common Open Space	To ensure that open spaces within a development containing dwelling units are truly usable by all residents.	While some portions of common open space may be dedicated to specific amenities such as pools and tennis courts, most of it should be designed in such a manner as to allow walking throughout the development, to any adjacent commercial or recreational areas, and to surrounding streets. Except for designated senior housing, some place for children to play should also be provided.	Not applicable	
6a. Conceal Garage Doors	To ensure that street frontages are not dominated by vehicular storage facilities.	Entrances to parking garages and structures should be from alleys, access lanes, or minor side streets, rather than from principal through streets. If access from a principal street is unavoidable, such access should be restricted to a single, two-way curb cut for each development.	Not applicable	
7. Overall Form	To create visual continuity among buildings having potentially different styles.	Buildings should utilize elements such as massing, materials, windows, canopies, and pitched or terraced roof forms to create both a visually distinct “base” as well as a “cap”.	The project will complement other buildings in through common design features. Buildings have been designed with masonry bases and visually distinct roof forms.	
8. Entrances	To make it apparent from the street where major entrances to buildings are located.	Principal entrances to buildings should be visually prominent and located within close proximity to the public sidewalk. Entrances should incorporate elements such as setbacks, recesses, balconies, porches, arches, trellises, or other architectural devices.	The main entry will be visually prominent from sidewalk and parking areas. The entry is located close to sidewalk. The entry design includes a recess and entry roof.	
9. Conceal Mechanical Equipment	To ensure that larger pieces of mechanical equipment are visually unobtrusive.	Rooftop mechanical equipment should be concealed by and integrated within the roof form of a building. Simply surrounding it with a parapet wall is not sufficient.	Commercial equipment will be placed on the roof behind low screens.	
10. Structured Parking	To diminish the visual impact of parking as viewed from streets.	Any level of parking contained within or under a structure that is visible from a public street shall fully screen the parking with either another use, a facade that incorporates artwork, or trees and other vegetation.	Not applicable	
11. Encouraging Varied Details	To ensure that denser types of housing include details that create a sense of human scale and that break down the bulk of larger buildings.	Buildings containing residential dwellings should incorporate most, if not all, of the following elements: <ul style="list-style-type: none"> • Front porches or stoops • Bay windows or dormers • Visible trim around windows and building corners • Base articulation, such as a plinth or first floor raised above grade 	Not applicable	

Design Review Board Design Guideline Checklist
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Applicable Design Guidelines				
Design Guideline	Intent	Description	Applicant Response	DRB Action (Y/N)
12. Integration	To ensure that signage is a part of the overall design approach to a project and not an afterthought.	The design of signs should be integrated with the architecture and site design of a project.	The signage design has not been determined at this time. The signage will be placed on facades to the side of main entrances, located facing central access lane and main parking lot.	
13. Creativity	To encourage interesting and even unusual approaches to graphic design.	Signs should be expressive and even whimsical, exhibiting a graphic design approach to form and lighting. Standard, back-lighted, metal frame and plastic panel signs are discouraged.	The signage design has not been determined at this time. Signage design will be submitted at time of building permit application.	
14. Awning Signs	To produce a visual effect that emphasizes buildings and vegetation, not advertising.	Signs painted on awnings are allowed, but awnings should not be internally illuminated.	No internally illuminated signage is proposed.	
Design Guidelines Applicable to the High School Road District				
1. Sidewalks and Street Trees	To extend some of the character of the older portion of the town center into this area and to provide safe and convenient connections for people on foot.	New development and redevelopment should provide sidewalks with a minimum width of 8 feet. Street trees should be located along the curb line, with a minimum caliper of 2 ½" and a maximum spacing of 30'.	Sidewalks will be 6' with street trees installed at minimum spacing.	
2. Breaking Up the Large Blocks	To reduce the scale of development.	New development and redevelopment should include streets, alleys, or lanes that can serve to break down the scale of these larger blocks.	Site master plan utilizes a series of internal lanes to help reduce the scale of the development.	
3. Minimize Impact of Driveways	The number and spacing of driveways should not disrupt the movement of pedestrians.	To the greatest extent possible, driveways should be shared and the minimum separation should be 100 feet. Driveways should not be closer than 150 feet to an intersection.	No new driveway is proposed. Site utilizes existing shared drive off High School Road	
4. Connections to neighboring Areas	To allow people the opportunity to walk directly between adjacent developments.	Pathways and walkways should be provided across adjacent property lines in locations where people would be likely to want to walk.	Pathways are consistent with SPR approval.	
5. Public Spaces	Because this area attracts a large number of people for its goods and services, there should be opportunities for lingering and sitting outside.	New development and redevelopment should include elements such as landscaped squares, courtyards, plazas, gardens, and alleys that contain seating, lighting, seasonal color, and other furnishings arranged and designed for people on foot. Some of these spaces may be relatively small, but the larger the development, the larger, more extensive, and more elaborate these spaces should be. A general rule of thumb is that such spaces should comprise approximately 5% of the site area.	Proposed site plan includes pedestrian plaza at building entry, enhanced pedestrian connection along access lane, and garden area to west of building.	
6. Set To Line	To reinforce connections between buildings and	Building facades along High School Road should be located at the back of the sidewalk or within 10 feet of it.	Not applicable	

Design Review Board Design Guideline Checklist
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	the public right-of-way.			
7. Street-front Transparency	To enliven the street environment by allowing people to see goods and activities within buildings.	Commercial uses should incorporate storefront windows that face the street. The proportion of glass surfaces should exceed the proportion of opaque surfaces.	The south façade has extensive storefront glazing to main public areas. The west façade facing the street is setback and screened by garden area.	
8. Small Building Forms	This district should not be dominated by commercial buildings with large, rectangular floor plates.	The larger the building, the more elements that should be used to diminish the scale, especially from the street side. Such elements should include offsets in facades, deep overhangs, recessed entrances, varied roof heights, canopies, arcades, clearstories, cornice lines, horizontal banding, and other features that are bold enough to be visible from the street.	The proposed building utilizes façade offsets, deep overhangs, entry canopy, and variations in façade treatment.	
9. Pitched Roof Forms Preferred	Buildings should reflect roof forms frequently associated with rural settings.	Pitched elements should be included in the roof forms of new buildings. In order to have the pitch be noticeable but not obtrusive or contrived, it should range between 4:12 and 12:12. There may, however, be places where flat roofs are appropriate, but this should be considered an exception.	Proposed building includes pitched roof forms. Proposed roof pitches are 4:12.	
10. Landmark Structures	To establish a major location of orientation as seen from a number of directions.	The intersection of High School Road and SR 305 is appropriate for visually prominent architecture that incorporates elements such as distinctive roof forms, cupolas, and landscaped roof decks.	Not applicable	
11. Location and Height	To ensure that building forms are more visually prominent than signs.	Signs should not be mounted on rooftops of buildings. Freestanding signs should not be higher than 5 feet from grade and should be integrated with shrubs and seasonal color.	No signage is proposed for rooftops.	

Guidelines Requiring Action per DRB:

DRB Summary Motion on Actions:
